



## **City of Avondale**

### **City Council Meeting**

Monday, April 20, 2026

### **Mayor and Council**

Mike Pineda, Mayor

Curtis Nielson, Vice Mayor

Tina Conde, Councilmember | Jeannette Garcia, Councilmember

Gloria Solorio, Councilmember | Shari Weise, Councilmember

Max White, Councilmember

### **Administration**

Ron Corbin, City Manager

Dale Nannenga, Assistant City Manager | Katie Gregory, Assistant City Manager

Jennifer Stein, Assistant City Manager | Nicholle Harris, City Attorney

Marcella Sarmiento, City Clerk

### **City Council Chamber**

11465 West Civic Center Drive

Avondale, AZ 85323

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Meeting ID: 279 769 795 341 78 | Passcode: Dn62Lw7P

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Please note, the live stream will not be monitored by staff; therefore, anyone wishing to address the City Council shall appear in person to speak.



**City Council Meeting  
Notice & Agenda  
Monday, April 20, 2026**

**CITY COUNCIL CHAMBER | 11465 WEST CIVIC CENTER DRIVE | AVONDALE AZ, 85323**

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**Request to Speak:** Anyone wishing to address the Council regarding items listed on the agenda or under "Unscheduled Public Appearance" should submit an Online Request to Speak form ([www.AvondaleAZ.gov/RequestToSpeak](http://www.AvondaleAZ.gov/RequestToSpeak)) at least one hour prior to the start of the meeting. Paper Request to Speak cards are also available at the meeting and should be submitted to staff prior to the start of the meeting.

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**REGULAR MEETING**

**5:30 PM**

*Physical Access to the Council Chambers will be available 30 minutes prior to the meeting.*

**CALL TO ORDER BY MAYOR**

**PLEDGE OF ALLEGIANCE & MOMENT OF REFLECTION**

**1. ROLL CALL BY THE CITY CLERK**

**2. PRESENTATION ITEM**

**a. PROCLAMATION - NATIONAL VOLUNTEER WEEK 2026**

City Council will present a proclamation recognizing April 19-25, 2026 as National Volunteer Week. This item is for discussion only.

**b. PROCLAMATION - NATIONAL CRIME VICTIMS' RIGHTS WEEK 2026**

City Council will present a proclamation recognizing April 19-25, 2026 as National Crime Victims' Rights Week. This item is for discussion only.

**c. AVONDALE FIRE AND MEDICAL CITIZEN'S ACADEMY**

The 2026 Fire and Medical Citizen's Academy graduates will be recognized for completion of the program. This item is for discussion only.

**d. EXCEPTIONAL STUDENT OF AVONDALE RECOGNITION (AVI STAR STUDENT)**

City Council will recognize students from schools located in the City of Avondale for their character and achievement. This item is for discussion only.

**e. AVONDALE BUSINESS SPOTLIGHT PROGRAM AWARD**

City Council will receive an update from the Economic Development Department relating to the Avondale Business Spotlight Program Award. This item is for discussion only.

**3. UNSCHEDULED PUBLIC APPEARANCES (Time is limited per person. Please state your name.)**

**4. RECESS INTO EXECUTIVE SESSION**

City Council will consider a request to recess the Regular Meeting and hold an Executive Session pursuant to Ariz. Rev. Stat. § 38-431.03 (A)(3) and (A)(4), discussion with the City Attorney or attorneys for the City for legal advice concerning pending litigation and settlement discussions in the matter of Charles Montoya v. City of Avondale, et.al.

**RECONVENE IMMEDIATELY FOLLOWING EXECUTIVE SESSION**

**5. CONSENT AGENDA**

Items on the consent agenda are of a routine nature or have been previously studied by the City Council at a work session. They are intended to be acted upon in one motion. Council members may pull items from consent if they would like them considered separately.

**a. QUARTERLY BUDGET TRANSFER**

City Council will consider requests to approve quarterly budget transfers as summarized in the attached Exhibit A, increase the award authority for the projects and authorize Finance and Budget Department staff to take the steps necessary to execute the transfers. The Council will take appropriate action.

**b. LICENSE AGREEMENT WITH THE UNITED STATES OF AMERICA DEPARTMENT OF ENERGY WESTERN AREA POWER ADMINISTRATION (WAPA)**

City Council will consider a request to authorize a License Agreement with the Western Area Power Administration (WAPA) to allow the installation of street, curb, sidewalk, handrail, electrical, landscaping, irrigation, and storm drain (FACILITY) crossing beneath WAPA's Liberty to Westwing and Liberty to Rudd 230-kV Transmission Lines and authorize the Mayor or City Manager, City Attorney and City Clerk to execute the necessary documents. The Council will take appropriate action.

**c. THIRD AMENDMENT TO THE LEASE AGREEMENT WITH BFI PEBBLE CREEK, LLC FOR THE SOUTHWEST FAMILY ADVOCACY CENTER**

City Council will consider a request to approve a Third Amendment to the Lease Agreement with BFI Pebble Creek, LLC for the Southwest Family Advocacy Center, and authorize the Mayor or City Manager, City Attorney and City Clerk to execute the necessary documents. The Council will take appropriate action.

**d. SETTLEMENT AND PAYMENT FOR THE CLAIM OF CHARLES MONTOYA**

City Council will consider a request to approve a settlement in the amount of \$250,000 in the matter of Charles Montoya and authorize the City Attorney to execute the settlement agreement.

**6. REGULAR AGENDA**

**a. PUBLIC HEARING AND RESOLUTION 1026-0426 - CERRO VISTA MINOR GENERAL PLAN AMENDMENT - APPLICATION PL-25-0217**

City Council will hold a public hearing to consider a request to adopt Resolution 1026-0426, approving a request by Carolyn Oberholtzer of Bergin, Frakes, Smalley and Oberholtzer for a minor General Plan amendment for Cerro Vista, an approximately 10.1 net-acre site located at 12104 W. Van Buren Street. If approved, the proposed minor General Plan amendment will change the subject property's General Plan 2030 Land Use Map Designation from High Density Residential to Medium/High Density Residential and authorize the Mayor or City Manager, City Attorney and City Clerk to execute the necessary documents. The Council will take appropriate action.

**b. PUBLIC HEARING AND ORDINANCE 2010-0426 - CERRO VISTA PLANNED AREA DEVELOPMENT REZONING - APPLICATION PL-25-0218**

City Council will hold a public hearing to consider a request to adopt Ordinance 2010-0426, approving a request by Carolyn Oberholtzer of Bergin, Frakes, Smalley and Oberholtzer to rezone an approximately 10.1 net-acre site located at 12104 W. Van Buren Street. If approved, the proposal would change the zoning from R-4 Multi-Family Residential to Cerro Vista Planned Area Development (PAD) with underlying R-3 Multi-Family Residential to facilitate the development of a 99-unit single-story, condo-platted residential project with detached single-family homes and authorize the Mayor or City Manager, City Attorney and City Clerk to execute the necessary documents. The Council will take appropriate action.

**c. PUBLIC HEARING AND ORDINANCE 2011-0426 - ROSILIAN VILLAS MAJOR PLANNED AREA DEVELOPMENT AMENDMENT - PL-25-0250**

City Council will hold a public hearing to consider a request to adopt Ordinance 2011-0426, approving a request by Michelle Santoro of Gammage & Burnham for a major Planned Area Development (PAD) amendment for Rosilian Villas, an approximately 24.89-net-acre site located south of the southwest corner of Dysart Road and Van Buren Street. If approved, the request will amend the PAD, formerly known as Avondale Townhomes on Dysart, to Rosilian Villas PAD with underlying zoning of R-3 Multi-Family Residential to facilitate the development of a 291-unit duplex project and authorize the Mayor or City Manager, City Attorney and City Clerk to execute the necessary documents. The Council will take appropriate action.

**d. PRESENTATION AND DISCUSSION OF THE CITY MANAGER'S RECOMMENDED BUDGET**

City Council will receive a general overview of the City Manager's proposed budget for fiscal year 2027 (FY2027). This item is for discussion only.

**e. FISCAL YEAR 2027 CONTRIBUTIONS ASSISTANCE PROGRAM**

City Council will receive an update regarding the Contributions Assistance Program, including an overview of eligibility requirements, funding levels, and evaluation criteria for Fiscal Year 2026-2027. This item is for discussion and feedback only; no Council action will be taken.

**f. TRAFFIC SAFETY COMMITTEE PRESENTATION**

City Council will receive a presentation from the Police and Engineering Departments on the new Traffic Safety Committee, including an overview of its initiatives for 2026. This is for presentation only.

**7. SUMMARY OF CURRENT EVENTS FROM MAYOR, VICE MAYOR, AND COUNCILMEMBERS**  
(5 minutes)

**8. ADJOURNMENT INTO EXECUTIVE SESSION**

City Council will consider a request to adjourn the Regular Meeting and hold an Executive Session pursuant to (1) Ariz. Rev. Stat. § 38-431.03 (A)(3) and (A)(4), discussion with the City Attorney or attorneys for the City for legal advice concerning pending or contemplated litigation, or settlement discussions and to instruct the City Attorney and attorneys for the City on such litigation or discussions for the claims and matters of: (i) Ashley Bradley; (ii) Luis Perez v. City of Avondale, et al.; and (iii) Michael Pullem v. City of Avondale; and (2) Ariz. Rev. Stat. § 38-431.03 (A)(1), discussion of the salary of the City Manager.

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Councilmembers of the City of Avondale will attend either in person or by telephone or video conference call. Individuals with special accessibility needs, including sight or hearing impaired, large print, or interpreter, should contact the City Clerk at 623-333-1000 or TDD 623-333-0010 at least two business days prior to the Council Meeting.

Los miembros del Concejo de la Ciudad de Avondale participaran ya sea en persona o por medio de llamada telefonica o por video. Personas con necesidades especiales de accesibilidad, incluyendo personas con impedimentos de vista u oido, o con necesidad de impresion grande o interprete, deben comunicarse con la Secretaria de la Ciudad at 623-333-1000 o TDD 623-333-0010 cuando menos dos dias habiles antes de la junta del Concejo.

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**ITEM NUMBER:** 2.a.

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**SUBJECT:** Proclamation - National Volunteer Week 2026

**MEETING DATE:** 4/20/2026

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**TO:** Mayor and Council

**FROM:** Memo Espinoza, Chief of Police

**THROUGH:** Dale Nannenga, Assistant City Manager, (623) 333-1017

**REVIEWED:** Ron Corbin, City Manager, (623) 333-1011

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**STRATEGIC PLAN:**

This agenda item supports the following Avondale Strategic Outcome Area: **Connected & Engaged Community**

Avondale informs, prepares, and engages our community to ensure residents are connected to resources, the region, and each other.

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**PURPOSE:**

City Council will present a proclamation recognizing April 19-25, 2026 as National Volunteer Week. This item is for discussion only.

**BACKGROUND:**

Every year in April, volunteers are honored during National Volunteer Week. This special week is dedicated to celebrating and thanking the individuals who generously give their time, energy, and compassion to serve others and strengthen our communities. Their commitment makes a lasting impact, and this is our opportunity to recognize and appreciate all that they do.

**DISCUSSION:**

City Council will present a proclamation recognizing April 19-25, 2026, as the National Volunteer Week.

**BUDGET IMPACT:**

This item does not have a budget impact.

**RECOMMENDATION:**

This item is for presentation only.

*Contact person for document distribution:*

# Avondale

## PROCLAMATION

NATIONAL VOLUNTEER WEEK

APRIL 19-25, 2026

**Whereas**, we firmly believe that the value of compassion, empathy, and community support are the foundation of a united and harmonious society, fostering connections that transcend differences; and

**Whereas**, the strength and prosperity of our city is based in the selflessness of its residents to serve and uplift one another; and

**Whereas**, we acknowledge the profound impact that can be achieved when we extend a helping hand to our neighbors, especially those of diverse backgrounds, lifting them up and collectively working to improve lives; and

**Whereas**, we nurture a culture of giving within our cities, emphasizing that volunteerism is not just a duty but a source of personal fulfillment and community strength; and as we work side by side with and learn from each other, mutual understanding increases, misconceptions can be corrected, and new friendships are built; and

**Whereas**, we encourage all citizens to care for one another, volunteer, and engage in acts of service and kindness that contribute to our city's betterment and its inhabitants' well-being, regardless of background or belief; and

**Whereas**, the City of Avondale has joined a growing list of supporters, including the President of the National League of Cities and hundreds of leaders to date, in making a commitment to volunteerism; and

**Whereas**, April is National Volunteer Month – a month dedicated to recognizing the importance of volunteering and a time for us to thank our City of Avondale volunteers;

**NOW, THEREFORE**, on behalf of the Avondale City Council, the City of Avondale, Arizona, hereby proclaims April 19-25<sup>th</sup> as National Volunteer Week and proclaims the month of April as National Volunteer Month and affirm our City's Commitment to Volunteerism.

Proclaimed this 20 day of April 2026.

\_\_\_\_\_  
Mayor

Attest: \_\_\_\_\_  
City Clerk

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**ITEM NUMBER:** 2.b.

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**SUBJECT:** Proclamation - National Crime Victims' Rights Week 2026

**MEETING DATE:** 4/20/2026

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**TO:** Mayor and Council

**FROM:** Memo Espinoza, Chief of Police

**THROUGH:** Dale Nannenga, Assistant City Manager, (623) 333-1017

**REVIEWED:** Ron Corbin, City Manager, (623) 333-1011

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**STRATEGIC PLAN:**

This agenda item supports the following Avondale Strategic Outcome Area: **Connected & Engaged Community**

Avondale informs, prepares, and engages our community to ensure residents are connected to resources, the region, and each other.

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**PURPOSE:**

City Council will present a proclamation recognizing April 19-25, 2026 as National Crime Victims' Rights Week. This item is for discussion only.

**BACKGROUND:**

Every year in April, National Crime Victims' Rights Week is observed. This important week is dedicated to raising awareness, honoring victims and survivors, and recognizing the advocates and professionals who work tirelessly to support them. It is a time to stand together, promote justice, and ensure that victims' rights are upheld and their voices are heard.

**DISCUSSION:**

City Council will present a proclamation recognizing April 19-25, 2026, as National Victims' Rights Week.

**BUDGET IMPACT:**

This item does not have a budget impact.

**RECOMMENDATION:**

This item is for presentation only.

*Contact person for document distribution:*

# Avondale

## PROCLAMATION

### NATIONAL CRIME VICTIMS' RIGHTS WEEK

**Whereas**, crime in America has a devastating impact on victims and survivors, and tears at the social fabric of our society as a whole; and

**Whereas**, no victim or survivor should have to endure the trauma of victimization and its impact – physical, financial, emotional, spiritual and social – alone; and

**Whereas**, the commUNITY of crime victims and survivors, those who serve them, and countless allies work together to ensure that victims' needs are identified and met with quality, collaborative and comprehensive services; and

**Whereas**, there are more than 12,000 system- and community-based victim services programs across the Nation that help crime survivors and promote community safety, and over 32,000 laws that define and protect victims' rights; and

**Whereas**, 2026 is the 45th anniversary of National Crime Victims' Rights Week, first proclaimed by President Ronald Reagan in 1981; and

**Whereas**, this time-honored tradition unites all who care about crime, victimization and survivors to acknowledge and honor survivors, their challenges and their strengths; and

**Whereas**, during 2026 National Crime Victims' Rights Week – April 19 to 25 – we recommit our efforts to promote and strengthen the extensive commUNITY that supports and serves victims and survivors of crime;

**NOW, THEREFORE**, on behalf of the Avondale City Council, the City of Avondale, Arizona, hereby proclaims the week of April 19 to 25, 2026 as Crime Victims' Rights Week and with this proclamation amplifying our commitment to ensure that crime victims' rights and services are not only recognized annually, but provided daily.

Proclaimed this 20 day of April 2026.

\_\_\_\_\_  
Mayor

Attest: \_\_\_\_\_  
City Clerk

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**ITEM NUMBER:** 2.c.

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**SUBJECT:** Avondale Fire and Medical Citizen's Academy

**MEETING DATE:** 4/20/2026

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**TO:** Mayor and Council

**FROM:** Larry Rooney, Fire Chief

**THROUGH:** Dale Nannenga, Deputy City Manager, (623) 333-1017

**REVIEWED:** Ron Corbin, City Manager, (623) 333-1011

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**STRATEGIC PLAN:**

This agenda item supports the following Avondale Strategic Outcome Area:

- Public Health and Safety - Avondale is a city where all people feel safe and secure, relying on trusted public and community-based resources.
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**PURPOSE:**

The 2026 Fire and Medical Citizen's Academy graduates will be recognized for completion of the program. This item is for discussion only.

**BACKGROUND:**

Avondale's Fire and Medical (AFM) Citizen Academy is a program designed for citizens of Avondale, surrounding communities, and members of the business community, providing an inside look at the Avondale Fire and Medical Department. This is an 8-class program hosted by AFM Administration where participants will earn certificates in CPR and Stop-The-Bleed.

**DISCUSSION:**

The Avondale Fire and Medical Citizen's Academy participants will be recognized for their civic engagement through participation in the program.

**BUDGET IMPACT:**

This item has no budget impact.

**RECOMMENDATION:**

This item is for information only.

*Contact person for document distribution: n/a*

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**ITEM NUMBER:** 2.d.

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**SUBJECT:** Exceptional Student of Avondale Recognition (Avi Star Student)

**MEETING DATE:** 4/20/2026

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**TO:** Mayor and Council

**FROM:** Christopher Lopez, Neighborhood and Family Services Director

**THROUGH:** Dale Nannenga, Assistant City Manager, (623) 333-1017

**REVIEWED:** Ron Corbin, City Manager, (623) 333-1011

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**STRATEGIC PLAN:**

This agenda item supports the following Avondale Strategic Outcome Area: **Connected & Engaged Community**

Avondale informs, prepares, and engages our community to ensure residents are connected to resources, the region, and each other.

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**PURPOSE:**

City Council will recognize students from schools located in the City of Avondale for their character and achievement. This item is for discussion only.

**BACKGROUND:**

The Avi Star Student recognition goes to an Avondale student(s) who are to be recognized for their achievements. The achievement may be academic, extracurricular or personal and highlights the impact the student has made for themselves, their family, school, or community.

**DISCUSSION:**

Avondale students will be recognized for their character and achievement.

**BUDGET IMPACT:**

None

**RECOMMENDATION:**

This item is for information and discussion only.

*Contact person for document distribution:* Christopher Lopez; Edith Baltierrez; Donna Gardner

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**ITEM NUMBER:** 2.e.

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**SUBJECT:** Avondale Business Spotlight Program Award

**MEETING DATE:** 4/20/2026

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**TO:** Mayor and Council

**FROM:** Jennifer Stein, Economic Development Director

**THROUGH:** n/a

**REVIEWED:** Ron Corbin, City Manager, (623) 333-1011

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**STRATEGIC PLAN:**

This agenda item supports the following Avondale Strategic Outcome Area: **Economic Growth and Prosperity**

Avondale supports a thriving local economy by fostering and supporting business growth, job creation, and workforce development. The City advances economic development, attracts high-quality entertainment and full-service amenities, and promotes a variety of attainable housing opportunities that strengthen the City's vitality.

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**PURPOSE:**

City Council will receive an update from the Economic Development Department relating to the Avondale Business Spotlight Program Award. This item is for discussion only.

**BACKGROUND:**

The Avondale Economic Development Department has developed a recognition program to identify and formally recognize business owners and operators that have made a meaningful local impact by going above and beyond their normal business operations and donating their time, talent, and treasures to the community.

Examples include but are not limited to: staff volunteering in the community, collaborating with fellow Avondale business owners, hosting donation drives and/or supporting local causes or charities.

The businesses recognized through this program will be awarded with:

- A certificate of recognition presented at City Council
- A presentation to City Council highlighting the impact worthy of recognition
- A subsequent photo opportunity
- Recognition on social media
- Recognition on the Avondale Economic Development website
- Print recognition in the RAVE Review publication

Recognition will be provided for at least one Avondale business per quarter, with the first recognition that

occurred for Panaderia La Central on January 26, 2026, for providing couples free wedding cakes when another bakery in the valley abruptly closed.

**DISCUSSION:**

The next Avondale Business Spotlight will feature COSIC.

COSIC's commitment has been defined by a "local-first" philosophy, intentionally bypassing national chains to utilize West Valley vendors for everything from bookkeeping to community outreach.

The impact of this leadership extends directly into the classroom and the workforce. Through a partnership with ASU's West Campus and Estrella Mountain Community College, COSIC provided more than just financial aid, they provided a bridge to the future. By hosting local educators to provide education on logistics and warehousing, and sponsoring initiatives like the EMCC Veterans Run, COSIC has fostered a culture where education meets execution.

COSIC has demonstrated a commitment to the community by supporting education, local veterans and small businesses.

**BUDGET IMPACT:**

This item has no impact on the budget.

**RECOMMENDATION:**

This item is for discussion only.

*Contact person for document distribution: Adam Shipley*

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**ITEM NUMBER:** 5.a.

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**SUBJECT:** Quarterly Budget Transfer

**MEETING DATE:** 4/20/2026

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**TO:** Mayor and Council

**FROM:** Renee Weatherless, Director of Finance and Budget

**THROUGH:** Ron Corbin, City Manager, (623) 333-1011

**REVIEWED:** Ron Corbin, City Manager, (623) 333-1011

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**STRATEGIC PLAN:**

This agenda item supports the following Avondale Strategic Outcome Area:

- Innovative and Effective Government - Avondale will continue to serve as a model of innovative, efficient, and responsive government. This action will help ensure planned capital projects have adequate capacity and will enhance the flexibility within the budget, allowing the city to further innovate.
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**PURPOSE:**

City Council will consider requests to approve quarterly budget transfers as summarized in the attached Exhibit A, increase the award authority for the projects and authorize Finance and Budget Department staff to take the steps necessary to execute the transfers. The Council will take appropriate action.

**BACKGROUND:**

Per the city's adopted Comprehensive Financial Policies, budget transfers between departments, between funds, and between capital projects greater than \$50,000 require council approval.

**DISCUSSION:**

**Fund Close-Out**

a. Fund 4290 — Council previously approved fund transfers to close the Dysart Road MDC Fund 4290 to the Dedicated Sales Tax Fund 2030, but staff did not properly request transfers of appropriation authority. Staff is requesting approval to transfer necessary appropriations from the unanticipated revenue accounts in Fund 2800 to both Fund 4290 and Fund 2030 to support the closeout of the residual fund balance.

b. Fund 4210 — Council previously approved fund transfers to close the PRO Debt Service Fund 4210 to the Dedicated Sales Tax Fund 2030, but staff did not properly request transfers of appropriation authority. Staff is requesting approval to transfer necessary appropriations from the unanticipated revenue accounts in Fund 2800 to both Fund 4210 and Fund 2030 to support the closeout of the residual fund balance.

## **Operating Award Authority Adjustment**

a. Solid Waste Containers — Public Works is requesting an increase of \$200,000 to the existing award authority for solid waste containers. The current authority is \$400,000; this request would increase it to \$600,000. Additional containers may be needed before the end of the fiscal year, and this increase will ensure sufficient contract authority to complete those purchases. There is no impact to the budget.

## **Operating Budget Adjustment**

a. Emergency Response Deployment Fund Appropriations — The City of Avondale, along with other Arizona jurisdictions, participates in a mutual aid agreement through the Arizona Department of Emergency and Military Affairs to provide assistance in the form of personnel, equipment, materials, and other related services in the event of an emergency. The primary objective is to facilitate rapid, short-term deployment of emergency support prior to, during, and after an incident. Under this agreement, parties responding to such an emergency may request reimbursement. In October 2025, the City of Avondale responded to the flooding incident in Globe, Arizona. Avondale has billed and expects to be fully reimbursed for these costs. In an effort to better track expenditures and revenues related to an emergency response situation, a new fund has been created. This request is to transfer appropriations in the amount of \$10,800 from the grant contingency to the new emergency response fund.

b. RICO Funding — The RICO Act is a US federal law enacted in 1970 to combat organized crime. It allows prosecutors to charge individuals or groups involved in ongoing criminal enterprises, rather than prosecuting isolated crimes. Under RICO, law enforcement can target patterns of illegal activity such as fraud, bribery, drug trafficking, money laundering, extortion, and other coordinated criminal conduct. One of RICO's most powerful features is its asset forfeiture provision. If a person or organization is convicted under RICO, the government can seize assets connected to the criminal enterprise. These assets can include cash, real estate, vehicles, bank accounts, and other property derived from or used in illegal activity. When assets are lawfully forfeited under RICO and related forfeiture laws, a portion of the proceeds may be allocated to participating law enforcement agencies. The police department may seek to use these funds for several legitimate and practical reasons, such as enhanced crime-fighting resources, specialized training, support for complex investigations, and community programs. The City of Avondale has requested and received authority through Maricopa County to use RICO funds to purchase speed enforcement devices in the amount of \$260,000. This request is to transfer the necessary appropriations from the grant contingency fund to the RICO fund.

## **Capital Improvement Project Adjustments**

a. Agua Fria Trail Pedestrian Bridge North Landing (P0509) — Staff is requesting a budget and award authority increase of \$170,000 on the Agua Fria Trail Pedestrian Bridge North Landing (P0509) project. The transfer would come from the Agua Fria Trailhead at Friendship Park and McDowell Rd (Formerly Recharge Park (P0015) project completed design budget. The City received a \$500,000 Congressional Directed Spending (CDS) earmark for construction only for a trail extension within Friendship Park to the planned pedestrian crossing bridge. This request includes funding for Arizona Department of Transportation (ADOT) to manage the project, design of the project including federally required environmental and cultural compliance, and a local match of the federal funds.

b. Traffic Signal - Avondale Boulevard and Miami Avenue (T0249) — Staff is requesting \$200,000 in project funding be brought up from FY2027 to FY2026 and the project award authority be increased by \$200,000. This will allow staff to order long lead items in order to complete the project in time for the new Fry's opening.

c. McDowell Bridge Lighting (T0507) — Staff is requesting \$75,000 in project funding be brought up from FY2027 to FY2026 and the project award authority be increased by \$75,000 to order light poles which currently have a 12-16 week lead time.

d. City Court Expansion Phase 2 - City Court Training/Conference Room (S0430) — Staff is requesting a budget and award authority increase of \$200,000 on the City Court Expansion Phase 2 - City Court

Training/Conference Room (S0430) project. The transfer would come from the completed K-9 Training Facility (S0344) project. This project includes an expansion of the jury assembly area into a larger conference style room with a dedicated restroom. Inflationary costs were apparent in two separate bids submitted by contractors and the transfer is needed to continue the project.

e. Transportation Master Plan Update (T0343) — The award authority for the Transportation Master Plan Update (T0343) project was not established during the adoption of the FY2026 budget. Staff is requesting the award authority for T0343 be set at \$250,000 to allow staff to complete the project.

f. Lower Buckeye Road Widening: Litchfield Road to 107th Avenue (T0376) — Staff is requesting \$70,000 in project funding be brought up from FY2027 to FY2026 and the project award authority be increased by \$70,000. This will allow staff to complete the additional design work that was needed as the scope was further refined.

g. Western Avenue Projects Grant Funding Adjustment — The Western Avenue - Central Avenue to 4th Avenue - Improvements (T0161) and Western Avenue Pedestrian Streetlights (T0163) projects share funding from the same grant. The total grant award amount is \$1,570,000, however the total budgeted grant amount on the projects is only \$1,489,000. Staff is requesting an additional \$81,000 in grant funding and the project award authority be added to Western Avenue - Central Avenue to 4th Avenue - Improvements (T0161) project to use the full grant awarded amount. In addition, grant expenditures on T0161 came in higher than anticipated and grant expenditures on T0163 came in lower than anticipated. Staff is requesting authority to make the necessary transfers to reconcile the grant budget between these two projects to match grant expenditures.

h. Relocate Detention Center and Police Substation (S0105) — There are remaining bond proceeds on the General Obligation (GO) 2021 bond issuance. The completed Relocate Detention Center and Police Substation (S0105) project is an eligible use of these bond proceeds. Staff is requesting authority to transfer the needed budget in bond funding to utilize the remaining GO 2021 bond proceeds on the project.

i. Well 22 (U0156) — Staff is requesting a budget and award authority increase of \$155,000 for the Well 22 (U0156) project. The bid for well cleaning and development came in higher than expected. The transfer will allow staff to begin field evaluation of the critical well project. The transfer would come from the McDowell Recharge Basin Improvements (U0078) project which staff believes can be completed within the reduced budget.

j. New Well #25 (U0257) — Staff is requesting a budget and award authority increase of \$555,000 for the New Well #25 (U0257) project. The transfer would come from the Well #26 Replacement (U0218) project. The U0257 project needed a generator requiring a higher budget than anticipated and the U0218 project did not need a generator, reducing the budget needed for the project.

k. Well at 107th Avenue & Encanto Boulevard - Shared Well (U0159) — Staff is requesting a budget and award authority increase of \$120,000 for the Well at 107th Avenue & Encanto Boulevard - Shared Well (U0159) project. The transfer would include \$40,000 in savings from the Site Security at Well and Booster Stations (U0238) project and \$80,000 from the McDowell Recharge Basin Improvements (U0078) project. The bid for U0159 came in much higher than the Engineer's Opinion of Probable Cost. Staff believes the McDowell Recharge Basin Improvements (U0078) project can be completed within the reduced budget.

l. Old Town Plaza (Formerly Dysart & Western Ave Pocket Park) (P0386) — Staff is requesting a budget and award authority increase of \$52,000 for the Old Town Plaza (Formerly Dysart & Western Ave Pocket Park) (P0386) project. The transfer would come from project savings realized in the completed Deconcini Park Enhancements (P0193) project. P0386 included \$40,000 to replace trash cans and benches along Western Ave. The actual cost for that phase of work came in at \$92,000 and the difference came out of the construction budget for the plaza. This request would add \$52,000 to the construction phase to reimburse that cost.

m. Solid Waste Vehicle Replacements — Staff is requesting the Vehicle Replacement FY2027 (A0512) be created and \$2,200,000 in project funding be brought up from FY2027 to FY2026 and the project award authority be set to \$2,200,000 to order solid waste replacement vehicles which have a very long lead time.

n. Relocate Detention Center and Police Substation (S0105) — Staff was recently notified by the Contractor for the Relocate Detention Center and Police Substation (S0105) project that the full project cost had not been billed, and they requested final payment. The project was closed in FY2025, and the remaining project budget was reverted to the General Fund and was not carried over into FY2026. Staff is requesting a budget transfer and award authority increase of \$700,000 to cover the outstanding balance.

#### **BUDGET IMPACT:**

##### **Fund Close-Out**

a. Transfer appropriations from Fund 2800 to Fund 2030 and Fund 4290.

b. Transfer appropriations from Fund 2030 to Fund 4210.

##### **Operating Award Authority Adjustment**

a. No budget impact, item is to increase award authority only.

##### **Operating Budget Adjustment**

a. This request is to transfer appropriations in the amount of \$10,800 from the grant contingency to the new emergency response fund.

b. This request is to transfer \$260,000 in appropriations from the grant contingency fund to the RICO fund.

##### **Capital Improvement Project Adjustments**

a. The transfer will reduce the budget in the Agua Fria Trailhead at Friendship Park and McDowell Rd (Formerly Recharge Park) (P0015) project and increase the total project budget in the Agua Fria Trail Pedestrian Bridge North Landing (P0509) project.

b. The transfer will bring up \$200,000 in project budget from FY2027 but will not increase the total project budget.

c. The transfer will bring up \$75,000 in project budget from FY2027 but will not increase the total project budget.

d. The transfer will reduce the K-9 Training Facility (S0344) project budget and increase the City Court Expansion Phase 2 - City Court Training/Conference Room (S0430) project budget.

e. There is no budget impact for this item.

f. The transfer will bring up \$70,000 in project budget from FY2027 but will not increase the total project budget.

g. The transfers will result in an increase to the total project budget of the Western Avenue - Central Avenue to 4th Avenue - Improvements (T0161) project and a decrease to the total project budget of Western Avenue Pedestrian Streetlights (T0163) project.

h. The transfer will not change the total project budget but is to swap current project funds with GO 2021 bond funds.

i. The transfer will reduce the McDowell Recharge Basin Improvements (U0078) project budget and increase the Well 22 (U0156) project budget.

j. The transfer will reduce the Well #26 Replacement (U0218) project budget and increase the New Well #25

(U0257) project budget.

k. The transfer will reduce the total project budget for the Site Security at Well and Booster Stations (U0238) project and the total project budget for the McDowell Recharge Basin Improvements (U0078) project and increase the total project budget for the Well at 107th Avenue & Encanto Boulevard - Shared Well (U0159) project.

l. The transfer will reduce the Deconcini Park Enhancements (P0193) project budget and increase the Old Town Plaza (Formerly Dysart & Western Ave Pocket Park) (P0386) project budget.

m. The transfer will create the project and bring up \$2,200,000 in project budget from FY2027.

n. The transfer will reduce the general fund contingency and increase the Relocate Detention Center and Police Substation (S0105) project budget for FY2026.

**RECOMMENDATION:**

Staff recommends that City Council approve the transfer of budget capacity listed in the attached Exhibit A, increase award authority as described within this staff report, and authorize staff to modify the interfund transfer schedule to accommodate the transfers in Exhibit A and/or as described within this staff report.

*Contact person for document distribution:*

**Exhibit A: Quarterly Budget Transfer Schedule - April 20, 2026**

**Fund Close-Out**

Transfer	From Account	From Account Description	To Account	To Account Description	Amount	Notes
(a)	28090000-69000 and 28090000-48600	Unanticipated Revenues	Various accounts in Fund 4290 and Fund 2030	Appropriate accounts used in closeout journal entry	Necessary amounts to support closeout of residual fund balance of \$2,500	Transfer appropriations from Fund 2800 to Fund 2030 and Fund 4290
(b)	28090000-69000 and 28090000-48600	Unanticipated Revenues	Various accounts in Fund 4210 and Fund 2030	Appropriate accounts used in closeout journal entry	Necessary amounts to support closeout of residual fund balance of \$2,100	Transfer appropriations from Fund 2800 to Fund 2030 and Fund 4210

**FY2026**

**Operating Award Authority Adjustment**

Transfer	From Account	From Account Description	To Account	To Account Description	Amount	Notes
(a)	N/A	N/A	N/A	N/A	200,000	Increase of award authority for Solid Waste Container purchases

**FY2026**

**Operating Budget Adjustments**

Transfer	From Account	From Account Description	To Account	To Account Description	Amount	Notes
(a)	28090000-69000 and 28090000-48600	28090000-69000 and 28090000-48600	Various accounts in Fund 2710	Emergency Response Deployment Fund	10,800	
(b)	28090000-69000 and 28090000-48600	28090000-69000 and 28090000-48600	Various accunts in org 240300	Maricopa County RICO Fund	260,000	

**FY2026**

**Capital Budget Adjustments**

Transfer	From Account	From Account Description	To Account	To Account Description	Amount	Notes
(a)	11055900-80000-P0015	Agua Fria Trailhead at Friendship Park and McDowell Rd (Formerly Recharge Park) (P0015)	11055900-80000-P0509	Agua Fria Trail Pedestrian Bridge North Landing (P0509)	170,000	
(b)	28090000-69000	Unanticipated Revenues	20340901-83000-T0249	Traffic Signal - Avondale Boulevard and Miami Avenue (T0249)	200,000	
(c)	28090000-69000	Unanticipated Revenues	20340901-83000-T0507	McDowell Bridge Lighting (T0507)	75,000	
(d)	11030900-82000-S0344	K-9 Training Facility (S0344)	11038900-82000-S0430	City Court Expansion Phase 2 - City Court Training/Conference Room (S0430)	200,000	
(e)	N/A	N/A	N/A	N/A	250,000	Transportation Master Plan Update (T0343) award authority
(f)	28090000-69000	Unanticipated Revenues	20340901-80000-T0376	Lower Buckeye Road Widening: Litchfield Road to 107th Avenue (T0376)	70,000	
(g.1)	28090000-69000	Unanticipated Revenues	28040901-86000-T0161	Western Avenue - Central Avenue to 4th Avenue - Improvements (T0161)	81,000	
(g.2)	28040901-Various-T0163	Western Avenue Pedestrian Streetlights (T0163)	28040901-86000-T0161	Western Avenue - Central Avenue to 4th Avenue - Improvements (T0161)	182,265	
(h)	11030900-82000-S0105	Relocate Detention Center and Police Substation (S0105)	33130900-82000-S0105	Relocate Detention Center and Police Substation (S0105)	69,279.43 + additional bond proceeds	
(i)	51170900-86000-U0078	McDowell Recharge Basin Improvements (U0078)	51170900-86000-U0156	Well 22 (U0156)	155,000	
(j)	51170900-Various-U0218	Well #26 Replacement (U0218)	51170900-86000-U0257	New Well #25 (U0257)	555,000	

(k.1)	51170900-84000-U0238	Site Security at Well and Booster Stations (U0238)	51170900-86000-U0159	Well at 107th Avenue & Encanto Boulevard - Shared Well (U0159)	40,000	
(k.2)	51170900-86000-U0078	McDowell Recharge Basin Improvements (U0078)	51170900-86000-U0159	Well at 107th Avenue & Encanto Boulevard - Shared Well (U0159)	80,000	
(l)	11055900-83000-P0193	Deconcini Park Enhancements (P0193)	11055900-83000-P0386	Old Town Plaza (Formerly Dysart & Western Ave Pocket Park) (P0386)	52,000	
(m)	28090000-69000	Unanticipated Revenues	57270910-85000-A0512	Vehicle Replacement FY2027 (A0512)	2,200,000	
(n)	10190000-99000	General Fund Contingency	11030900-83000-S0105	Relocate Detention Center and Police Substation (S0105)	700,000	

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**ITEM NUMBER:** 5.b.

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**SUBJECT:** License Agreement with The United States of America Department of Energy Western Area Power Administration (WAPA)

**MEETING DATE:** 4/20/2026

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**TO:** Mayor and Council

**FROM:** Kimberly Moon, Engineering Director

**THROUGH:** Katie Gregory, Assistant City Manager, (623) 333-1015

**REVIEWED:** Ron Corbin, City Manager, (623) 333-1011

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**STRATEGIC PLAN:**

This agenda item supports the following Avondale Strategic Outcome Area: **Resilient Infrastructure & Transportation**

Avondale invests in safe and sustainable infrastructure, including water, roads, and utilities, and actively participates in regional planning and development.

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**PURPOSE:**

City Council will consider a request to authorize a License Agreement with the Western Area Power Administration (WAPA) to allow the installation of street, curb, sidewalk, handrail, electrical, landscaping, irrigation, and storm drain (FACILITY) crossing beneath WAPA's Liberty to Westwing and Liberty to Rudd 230-kV Transmission Lines and authorize the Mayor or City Manager, City Attorney and City Clerk to execute the necessary documents. The Council will take appropriate action.

**BACKGROUND:**

The United States Department of Energy, Western Area Power Administration (WAPA), has issued a License Agreement to the City of Avondale for the construction and maintenance of public infrastructure improvements within WAPA's transmission line right-of-way in Maricopa County, Arizona. The project is located within portions of Section 26 and Section 27, Township 1 North, Range 1 West, Gila and Salt River Meridian, in the vicinity of transmission structures 9-3 to 9-4 along the Liberty to Westwing and Liberty to Rudd 230-kV transmission lines.

The License Agreement authorizes the City to construct street, curb, sidewalk, handrail, electrical, landscaping, irrigation, and storm drain improvements beneath the existing transmission lines. The agreement is issued for a term of fifty (50) years and is renewable, provided the City complies with all terms and conditions outlined by WAPA.

The agreement does not convey any property rights and requires the City to obtain any necessary permissions from underlying landowners. All improvements must be constructed and maintained in accordance with approved plans and must not interfere with WAPA's operations. The City is responsible for ensuring

compliance with all applicable federal, state, and local regulations, including safety standards such as the National Electric Safety Code (NESC) and OSHA requirements.

Additionally, the City must coordinate with WAPA prior to construction, maintain required safety clearances, allow for ongoing access to the transmission corridor, and accommodate any future modifications to WAPA facilities at no cost to the agency. The City also assumes responsibility for indemnification and for ensuring safe design and operation of improvements within the high-voltage transmission environment.

This agreement enables the City to proceed with critical infrastructure improvements while ensuring the continued safe operation and maintenance of WAPA's transmission system.

#### **DISCUSSION:**

The proposed License Agreement with the Western Area Power Administration (WAPA) authorizes the City of Avondale to construct street, curb, sidewalk, handrail, electrical, landscaping, irrigation, and storm drain improvements beneath the Liberty to Westwing and Liberty to Rudd 230-kV transmission lines, in compliance with federal and WAPA requirements.

These improvements support transportation connectivity, public safety, and future development in the area. The agreement ensures that construction and long-term maintenance will not interfere with WAPA's operations while preserving required access to the transmission corridor.

Approval of this agreement will allow the City to proceed with the project while maintaining compliance with federal standards and supporting the City's infrastructure and growth objectives.

#### **BUDGET IMPACT:**

There is no impact to the budget for this action.

#### **RECOMMENDATION:**

Staff recommends that the City Council approve a License Agreement with the Western Area Power Administration (WAPA) to allow the construction of street, curb, sidewalk, handrail, electrical, landscaping, irrigation, and storm drain improvements within WAPA's transmission line right-of-way. Staff further recommends authorizing the Mayor or City Manager, City Attorney, and City Clerk to execute all necessary documents to finalize the agreement.

*Contact person for document distribution: Jonathan Almanza, Kimberly Moon*

THE UNITED STATES OF AMERICA  
DEPARTMENT OF ENERGY  
WESTERN AREA POWER ADMINISTRATION

**Liberty to Westwing 230-kV Transmission Line  
AND  
Liberty to Rudd 230-kV Transmission Line**

SE<sup>1</sup>/<sub>4</sub>NE<sup>1</sup>/<sub>4</sub>, Section 27, Township 1 North, Range 1 West,  
Gila & Salt River Meridian, Maricopa County, State of Arizona  
AND

SW<sup>1</sup>/<sub>4</sub>NW<sup>1</sup>/<sub>4</sub>, Section 26, Township 1 North, Range 1 West,  
Gila & Salt River Meridian, Maricopa County, State of Arizona

Vicinity of Structure(s): 9-3 to 9-4

**LICENSE AGREEMENT**

THIS LICENSE AGREEMENT is made this \_\_\_\_\_ day of \_\_\_\_\_, 2026, between CITY OF AVONDALE (LICENSEE), whether one or more, and the UNITED STATES OF AMERICA, Department of Energy, Western Area Power Administration (WAPA), represented by the officer executing this License Agreement, pursuant to the Reclamation Act, Act of June 17, 1902, 32 Stat. 388, and acts amendatory thereof and supplementary thereto, and the Department of Energy Organization Act, Act of August 4, 1977, 91 Stat. 565.

WITNESSETH:

WAPA concurs and grants to the LICENSEE, upon the terms hereafter provided, a License for a period of 50 years from the date hereof, for the construction of street, curb, sidewalk, handrail, electrical, landscaping, irrigation, and storm drain (FACILITY). This FACILITY crosses under WAPA's Liberty to Westwing 230-kV and Liberty to Rudd 230-kV Transmission Line(s) and will not interfere with the operation and maintenance of said Transmission Line(s), if constructed in the manner and at the locations shown on Exhibits A-1 to A-8, attached hereto and made a part hereof. This License is renewable.

In consideration of WAPA's concurrence, the LICENSEE agrees to the following:

- a) This License Agreement does not grant any right, privilege, or interest in the land. The LICENSEE is responsible for obtaining any necessary land rights from the underlying landowner.

- b) This License Agreement is only valid provided the FACILITY is constructed, operated, and maintained in conformance with the attached drawings and/or exhibits. Any relocations, changes, or upgrades require additional concurrence by WAPA. LICENSEE agrees to alter or relocate its FACILITY, at no cost to WAPA, to accommodate future modifications of WAPA's facilities, including but not limited to, upgrades of the transmission line.
- c) LICENSEE shall notify WAPA at least thirty (30) business days prior to commencing maintenance or installation of the FACILITY to permit inspection by WAPA. WAPA's Point of Contact: Terry Kugler, Foreman III at 602-428-5235 (o) or (602) 376-7482 (c) (Monday thru Thursday 6:00 AM-4:30 PM) or email at kugler@wapa.gov.
- d) To abide by and comply with all applicable Federal, State, and local laws as well as building and safety codes including the latest edition of the National Electric Safety Code (NESC) and Occupational Safety and Health Administration standards (OSHA) applicable to the design and construction of the aforesaid FACILITY.
- e) In accordance with the National Electric Safety Code (NESC), a clearance of 18.4 feet from transmission line conductors to the top of the handrail must be maintained. Additionally, all equipment used within the easement area shall maintain a minimum clearance of 15 feet, from the transmission line conductors, including backhoes, front-end loaders, cranes, or other equipment.
- f) Induced voltages and currents may occur on the FACILITY constructed or placed under or near high voltage transmission lines. The LICENSEE shall be responsible for the protection of personnel and equipment in their design, construction, operation, and maintenance of the FACILITY described in this License Agreement. If heavy equipment is used during construction, signs shall be posted saying, "Caution – Overhead High Voltage Transmission Lines".
- g) WAPA always requires unimpeded access to its right-of-way. WAPA uses vehicles that have a 42-kip (42,000 pounds) axle load and is not liable for any damage caused to the FACILITY when patrolling, performing maintenance, or reconstructing the transmission line.
- h) No appreciable change shall be made to the character of the existing topography. Safe conductor phase-to-ground clearance must be maintained. Steep sloping, which will impede heavy line equipment and vehicles from traversing the lands within the transmission line right-of-way shall not be allowed. The gradient must not be steeper than 6:1 run to rise.
- i) LICENSEE shall limit any landscaping on easements to low growing vegetation that will not exceed 10 feet at maximum mature height. Existing trees and vegetation within the easement must be kept at a maximum height of 10 feet and 50 feet away

from towers or poles. Planting new vegetation within the easement should have WAPA's concurrence.

- j) Upon completion of the project, the Licensee will submit a copy of the as-builts and/or photographs of the FACILITY to WAPA Lands (P.O. Box 6457, Phoenix, AZ 85005-6457).
- k) This License Agreement shall be binding on the successors or assigns of the LICENSEE and WAPA.
- l) LICENSEE agrees to indemnify and hold harmless WAPA, its employees, or agents, from any loss or damage and from any liability on account of personal injury, death, or property damage arising out of LICENSEE's, its agents, contractors, or subcontractors use of the land covered by this License Agreement, except to the extent any such loss, damage or liability is caused by the negligence or willful misconduct of WAPA, its employees, or agents.

CITY OF AVONDALE

THE UNITED STATES OF AMERICA  
Western Area Power Administration  
Desert Southwest Region

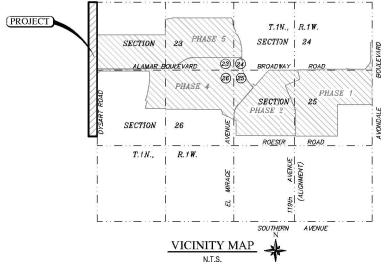
\_\_\_\_\_  
Signature

\_\_\_\_\_  
Richard M. Duarte  
Natural Resources Manager

\_\_\_\_\_  
Print Name

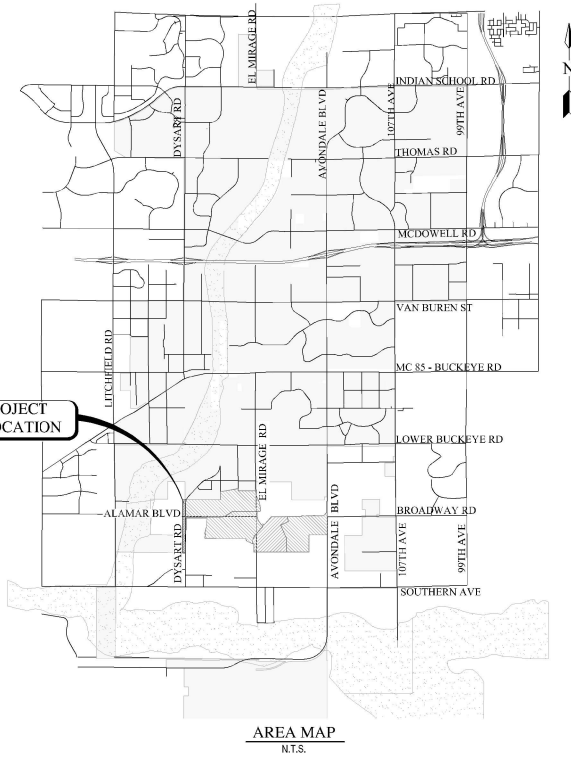
\_\_\_\_\_  
Title

# DYSART ROAD PAVING, STORM DRAIN, SIGNING AND PAVEMENT MARKING PLAN



## ALAMAR - PHASE 5

PROPOSED SUBDIVISION OF A PORTION OF SECTIONS 23, 24, AND 26  
TOWNSHIP 1 NORTH, RANGE 1 WEST, OF THE GILA AND SALT RIVER MERIDIAN,  
MARICOPA COUNTY, ARIZONA



QUANTITIES (PHASE 5 CFD)				
FLAT CONCRETE	ON-SITE	UNIT	OFF-SITE	UNIT
SIDEWALK	N/A	SF	7934	SF
CURB AND GUTTER/SINGLE CURB/RIBBON	N/A	LF	1361	LF
VALLEY GUTTER AND APRON	N/A	SF	N/A	SF
BUS BAY, RT. TURN LANE	N/A	SF	N/A	SF
RETURN TYPE DRIVEWAY	N/A	SF	N/A	SF
DRIVEWAY (NON-RETURN TYPE)	N/A	EA	N/A	EA
SIDEWALK RAMP	N/A	EA	2	EA
<b>PAVING</b>				
NEW CONC/ASPHALT PAVING	N/A	SY	5358	SY
ASPHALT/CONC OVERLAY	N/A	SY	N/A	SY
SLURRY SEAL/MICRO SEAL	N/A	SY	N/A	SY
UTILITY ADJUSTMENT (IN R/W STREET)	N/A	EA	5	EA
SURVEY MONUMENT	N/A	EA	3	EA
STREET SIGN	N/A	EA	7	EA
BARRICADE/GUARDRAIL	N/A	LF	N/A	LF
STRIPING (4" EQUIV.)	N/A	LS	1	LS
ASPHALT/CONC REPLACEMENT	N/A	SY	N/A	SY
STREET LIGHTS	N/A	EA	7	EA
TRAFFIC SIGNAL	N/A	EA	N/A	EA

QUANTITIES (TUHSD ADJACENT WAY)				
FLAT CONCRETE	ON-SITE	UNIT	OFF-SITE	UNIT
SIDEWALK	N/A	SF	15,911	SF
CURB AND GUTTER/SINGLE CURB/RIBBON	N/A	LF	1805	LF
VALLEY GUTTER AND APRON	N/A	SF	1688	SF
BUS BAY, RT. TURN LANE	N/A	SF	N/A	SF
RETURN TYPE DRIVEWAY	N/A	SF	N/A	SF
DRIVEWAY (NON-RETURN TYPE)	N/A	EA	N/A	EA
SIDEWALK RAMP	N/A	EA	4	EA
<b>PAVING</b>				
NEW CONC/ASPHALT PAVING	N/A	SY	8960	SY
ASPHALT/CONC OVERLAY	N/A	SY	N/A	SY
SLURRY SEAL/MICRO SEAL	N/A	SY	8960	SY
UTILITY ADJUSTMENT (IN R/W STREET)	N/A	EA	15	EA
SURVEY MONUMENT	N/A	EA	N/A	EA
STREET SIGN	N/A	EA	9	EA
BARRICADE/GUARDRAIL	N/A	LF	N/A	LF
STRIPING (4" EQUIV.)	N/A	LS	1	LS
ASPHALT/CONC REPLACEMENT	N/A	SY	N/A	SY
STREET LIGHTS	N/A	EA	7	EA
TRAFFIC SIGNAL	N/A	EA	N/A	EA

QUANTITIES (THREE RIVERS RANCH)				
FLAT CONCRETE	ON-SITE	UNIT	OFF-SITE	UNIT
SIDEWALK	N/A	SF	12,254	SF
CURB AND GUTTER/SINGLE CURB/RIBBON	N/A	LF	22,30	LF
VALLEY GUTTER AND APRON	N/A	SF	N/A	SF
BUS BAY, RT. TURN LANE	N/A	SF	N/A	SF
RETURN TYPE DRIVEWAY	N/A	SF	N/A	SF
DRIVEWAY (NON-RETURN TYPE)	N/A	EA	N/A	EA
SIDEWALK RAMP	N/A	EA	8	EA
<b>PAVING</b>				
NEW CONC/ASPHALT PAVING	N/A	SY	11867	SY
ASPHALT/CONC OVERLAY	N/A	SY	N/A	SY
SLURRY SEAL/MICRO SEAL	N/A	SY	11867	SY
UTILITY ADJUSTMENT (IN R/W STREET)	N/A	EA	19	EA
SURVEY MONUMENT	N/A	EA	2	EA
STREET SIGN	N/A	EA	9	EA
BARRICADE/GUARDRAIL	N/A	LF	N/A	LF
STRIPING (4" EQUIV.)	N/A	LS	1	LS
ASPHALT/CONC REPLACEMENT	N/A	SY	N/A	SY
STREET LIGHTS	N/A	EA	14	EA
TRAFFIC SIGNAL	N/A	EA	N/A	EA

### UTILITY CONFLICT NOTIFICATION BLOCK

THESE PLANS HAVE BEEN SUBMITTED TO THE FOLLOWING UTILITY COMPANIES. WHERE THE WORK TO BE DONE CONFLICTS WITH ANY OF THESE UTILITIES, THE CONFLICTS SHALL BE RESOLVED AS SPECIFIED IN THE SPECIAL NOTES AND/OR AS OTHERWISE NOTED ON THESE PLANS. CONFLICTS ARISING DURING THE COURSE OF CONSTRUCTION FROM UNFORESEEN CIRCUMSTANCES SHALL BE REPORTED TO THE INTERESTED UTILITY COMPANY AND BE RESOLVED BY THEM AND THE DESIGN ENGINEER.

SALT RIVER POWER DISTRICT	CHRISTY BALTRUST COMPANY REPRESENTATIVE	4/29/25 DATE
ARIZONA PUBLIC SERVICE	TRACY WIECZOREK COMPANY REPRESENTATIVE	4/29/25 DATE
CENTURY LINK (LUMEN)	KEVIN WAGNER COMPANY REPRESENTATIVE	4/29/25 DATE
COX COMMUNICATIONS	GARETTE GOLDING COMPANY REPRESENTATIVE	4/29/25 DATE
SOUTHWEST GAS	_____ COMPANY REPRESENTATIVE	_____ DATE
SALT RIVER IRRIGATION DISTRICT	_____ COMPANY REPRESENTATIVE	_____ DATE
ROOSEVELT IRRIGATION DISTRICT	KEN CRAIG COMPANY REPRESENTATIVE	4/29/25 DATE
EL PASO NATURAL GAS	STEVE WEATHERHEAD COMPANY REPRESENTATIVE	4/29/25 DATE

### SHEET INDEX:

- 1 - COVER
- 2 - NOTES AND LEGEND
- 3 - INDEX MAP
- 4-13 - PAVING PLAN
- 14 - DETAILS
- 15 - STORM DRAIN PLAN
- 16-18 - SIGNING & MARKING PLAN

TOTAL SHEETS - 18

### OWNER/ DEVELOPER

BROOKFIELD LAKIN, LLC  
14648 N. SCOTTSDALE ROAD, SUITE 290  
SCOTTSDALE, ARIZONA 85254  
PHONE: (602) 903-7489  
CONTACT: CHRISTINA CHRISTIAN

### BENCHMARK

NATIONAL GEODETIC SURVEY CONTROL POINT H 395, PID DV0444, LOCATED AT THE NORTHWEST CORNER OF EL MIRAGE ROAD AND BROADWAY ROAD, HAVING AN ELEVATION OF 939.03', NAVD 83 DATUM.

### PUBLIC UTILITIES

WATER	CITY OF AVONDALE
SEWER	CITY OF AVONDALE
ELECTRIC	SALT RIVER PROJECT
TELEPHONE	LUMEN
GAS	SOUTHWEST GAS
CABLE TV	COX COMMUNICATIONS
WASTE DISPOSAL	REPUBLIC SERVICES

### ENGINEER & SURVEYOR

WOOD, PATEL & ASSOCIATES, INC.  
2051 WEST NORTHERN AVENUE, SUITE 100  
PHOENIX, ARIZONA 85021  
PHONE: (602) 335-8500  
CONTACT: FRANK KOO, P.E.

### BASIS OF BEARING

GEODETIC "NORTH" BASED ON: MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION (MCDOT) GEODETIC DENSIFICATION AND CADASTRAL SURVEY (GDACS) WEBSITE  
WWW.MCDOT.MARICOPA.GOV, UNDER THE SURVEY INFORMATION LINK ON MARCH 1, 2017.  
PROJECTION: CENTRAL ZONE, NAD 83, (EPOCH 2010) DATUM: GRS-80  
UNITS: INTERNATIONAL FEET  
GEOID MODEL: GEOID 2012A

NATIONAL GEODETIC SURVEY CONTROL POINT: H 395  
PID: DV0444  
LATITUDE: 33°24'22.55252"N  
LONGITUDE: 112°19'25.08998"W  
ELLIPSOID HEIGHT: 255.899 (METERS)  
DESCRIPTION: BRASS DISK IN CONCRETE SLEEVE  
MODIFIED TO GROUND AT (GRID) N: 875587.531, E: 575806.124, USING A SCALE FACTOR OF 1.0001224277.

HORIZONTAL ADJUSTMENT: NONE  
HORIZONTAL ROTATION: NONE

## CITY OF AVONDALE

### MAYOR

MIKE PINEDA

### CITY MANAGER

RON CORBIN

### CITY CLERK

MARCELLA SARMENTO

### VICE MAYOR

CURTIS NIELSON

### COUNCIL MEMBERS

SHARI WEISE  
GLORIA SOLORIO  
JEANNETTE GARCIA

MAX WHITE  
TINA CONDE

## CITY OF AVONDALE APPROVAL

CITY ENGINEER

NO LIABILITY

11465 W. CHANDLER

AVONDALE, AZ 85042

(602) 333-4242

Accela Project Number  
**ENG-24-0708**

Avondale

**APPROVED WITH COMMENTS**

THE CITY APPROVES THIS DOCUMENT FOR CONCEPT ONLY AND ACCEPTS NO LIABILITY FOR DESIGN, ERRORS, OR OMISSIONS.

By: Veanelle Hanson Date: 12/18/2025

Accela Project Number  
**ENG-24-0708**

Avondale

**APPROVED**

THE CITY APPROVES THIS DOCUMENT FOR CONCEPT ONLY AND ACCEPTS NO LIABILITY FOR DESIGN, ERRORS, OR OMISSIONS.

By: Veanelle Hanson Date: 1/7/2026

## "AS-BUILT" CERTIFICATION"

I HEREBY CERTIFY THAT THE "AS-BUILT" INFORMATION SHOWN HEREON WAS OBTAINED UNDER MY DIRECT SUPERVISION AND IS CORRECT AND COMPLETE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED LAND SURVEYOR/ENGINEER

REGISTRATION NUMBER

DATE

COMPANY NAME:

ADDRESS:

PHONE NUMBER:

### NOTE:

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF AVONDALE'S SUPPLEMENT TO THE M.A.G. SPECIFICATIONS AND STANDARD DETAILS CURRENTLY ON FILE AND AVAILABLE AT THE CITY OF AVONDALE'S ENGINEERING DEPARTMENT OR ONLINE AT THE CITY OF AVONDALE'S WEBSITE.

WOOD, PATEL & ASSOCIATES, INC.  
Civil Engineering  
Water Resources  
Land Survey  
Construction Management  
602.335.8500  
www.wopat.com

WOOD PATEL

WOOD, PATEL & ASSOCIATES, INC.

ALAMAR

BROOKFIELD LAKIN, LLC

DYSART ROAD PAVING, SIGNING AND PAVEMENT MARKING PLAN

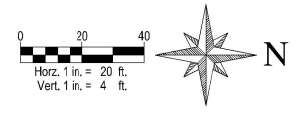
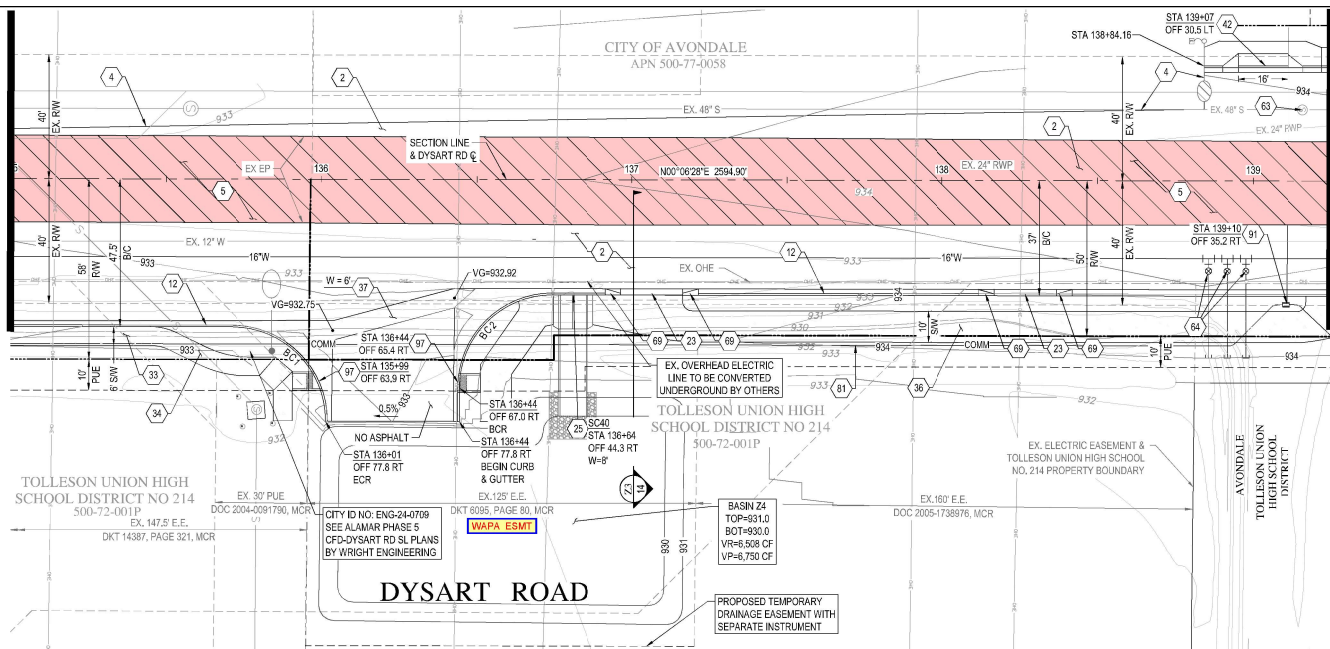
COVER SHEET

11/18/2025

SHEET NUMBER  
1 OF 18  
PROJECT NUMBER  
174612.11

MATCH LINE STA 135+00  
SHEET 5

MATCH LINE STA 139+25  
SHEET 7

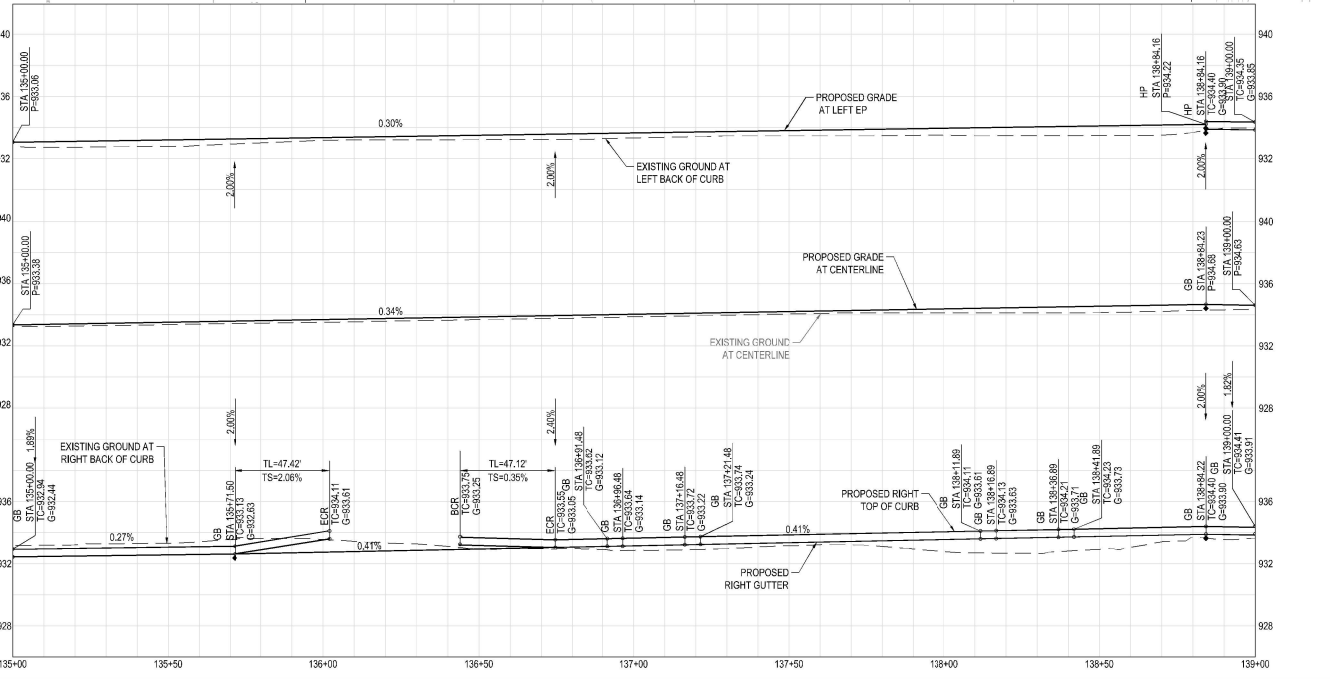


- PAVING NOTES**
- 2 CONSTRUCT STREET SECTION PER MAG SPEC SECTIONS 310 AND 321. SEE PAVEMENT SECTION ON DETAIL SHEET 14.
  - 4 CONSTRUCT ASPHALT PAVEMENT EDGE PER MAG STD DTL 201, SAFETY EDGE.
  - 5 SAW CUT, REMOVE AND REPLACE EXISTING PAVEMENT PER MAG SPECIFICATIONS SECTION 310 AND 321 AND PAVEMENT SECTION PER DTL ON DTL SHEET 14.
  - 12 CONSTRUCT 6\"/>

WOOD PATEL  
Civil Engineering  
Water Resources  
Land Survey  
Construction Management  
602.335.8500  
www.woodpatel.com

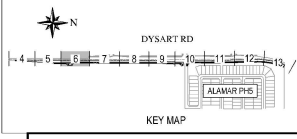
ALAMAR  
Contractors (11) 1100 West 10th Street, Suite 100  
Lincoln, NE 68508  
Call 877-766-ALAMAR  
www.alamar.com

BROOKFIELD LAKIN, LLC  
PROJECT NAME  
DYSART ROAD PAVING, SIGNING AND PAVEMENT MARKING PLAN  
OFFSITE INFRASTRUCTURE - PAVING PLAN



**BACK OF CURB CURVE TABLE**

CURVE	DELTA	RADIUS	ARC	TANGENT	CHORD
BC1	90°33'58"	30.00'	47.42'	30.30'	42.64'
BC2	90°00'00"	30.00'	47.12'	30.00'	42.43'

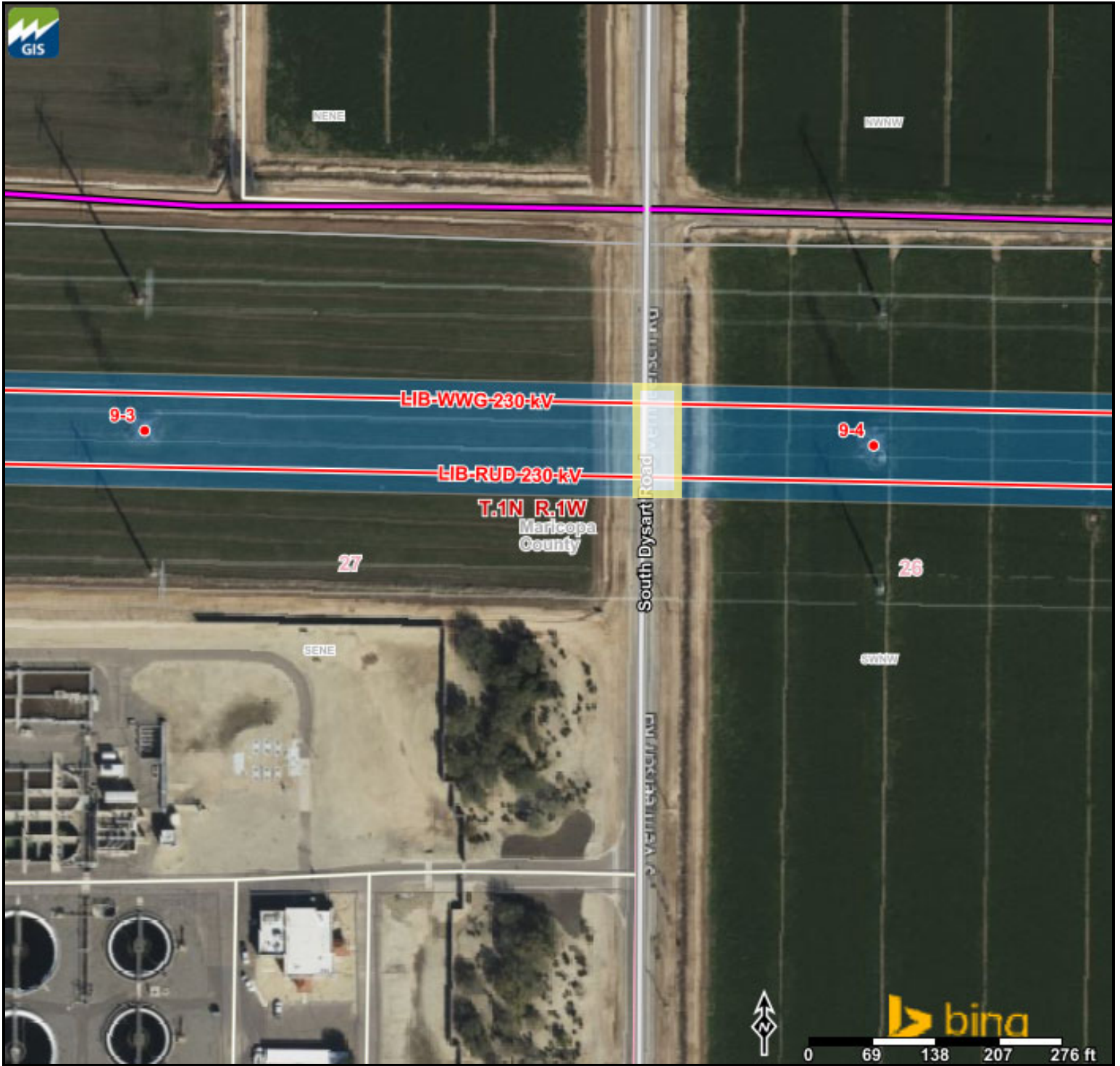


**NOTE:**  
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF AVONDALE'S SUPPLEMENT TO THE M.A.G. SPECIFICATIONS AND STANDARD DETAILS CURRENTLY ON FILE AND AVAILABLE AT THE CITY OF AVONDALE'S ENGINEERING DEPARTMENT OR ONLINE AT THE CITY OF AVONDALE'S WEBSITE.

11/18/2025  
SHEET NUMBER  
6 OF 18  
PROJECT NUMBER  
174612.11

# Exhibit A-1

## Desert Southwest Region



### Legend

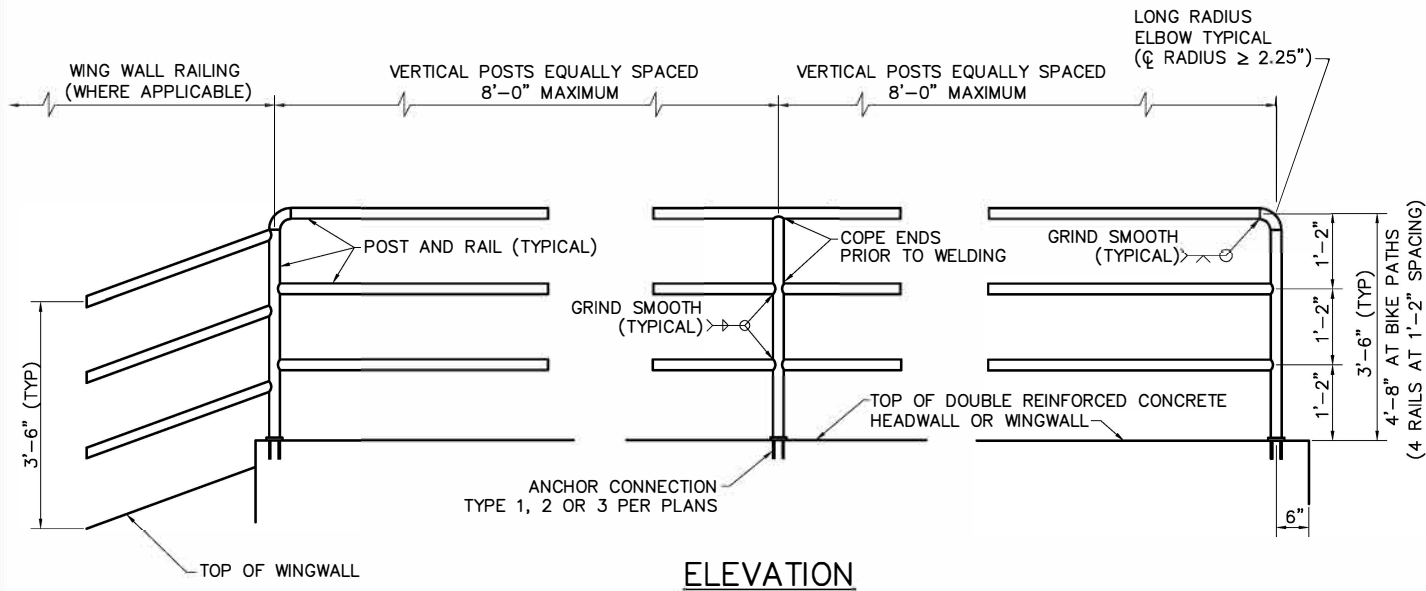
Scale 1:2,001  
3/5/2026 1:54 P.M.

### Western Area Power Administration An agency of the U.S. Department of Energy

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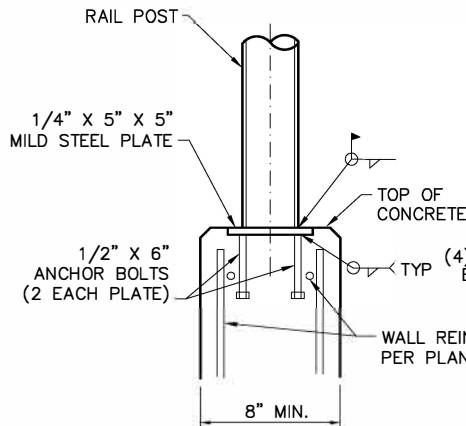
# Exhibit A-4



**ELEVATION**

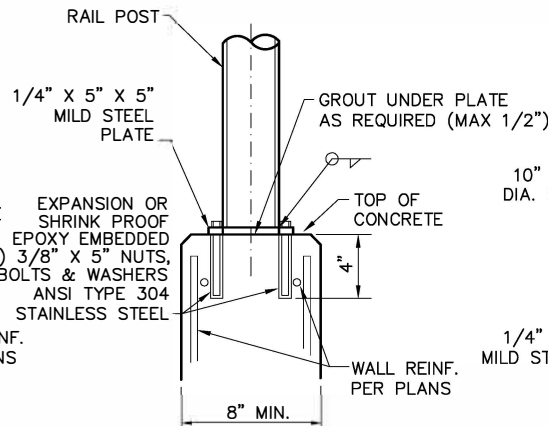
## NOTES:

1. POSTS AND RAILS SHALL BE 1.90 INCH OUTSIDE DIAMETER, HIGH STRENGTH HEAVY INDUSTRIAL STEEL PIPE CONFORMING TO ASTM F1043 MATERIAL GROUP IA-2 (2.72 LB/FT, MINIMUM YIELD STRENGTH=50 KSI) OR MATERIAL GROUP IC GALVANIZED AFTER FORMING (2.28 LB/FT, MINIMUM YIELD STRENGTH=50 KSI)
2. PAINT RAIL PER MAG SPECIFICATIONS SECTION 530 WHEN REQUIRED BY PLANS, SHOP PRIME WITH RUST INHIBITING PRIMER (FIELD REPAIR PRIMER AS NEEDED). COLOR PER PLANS.
3. VERTICAL POSTS TO BE EVENLY SPACED.
4. REMOVE ALL SHARP EDGES.
5. INSTALL SAFETY RAIL AS REQUIRED BY PLANS OR SPECIFICATIONS.
6. THE EMBEDMENT FOR ANCHOR TYPES 1, 2, AND 3 SHALL BE LOCATED INSIDE THE WALL REINFORCEMENT CAGE.
7. SAFETY RAIL IS NOT TO BE USED AS A PEDESTRIAN BRIDGE RAIL.
8. FOR SAFETY RAIL ON 8" BLOCK (CMU) WALLS, THE TOP COURSE SHALL BE A BOND BEAM WITH 2-#4 LONGITUDINAL REBAR AND GROUT.



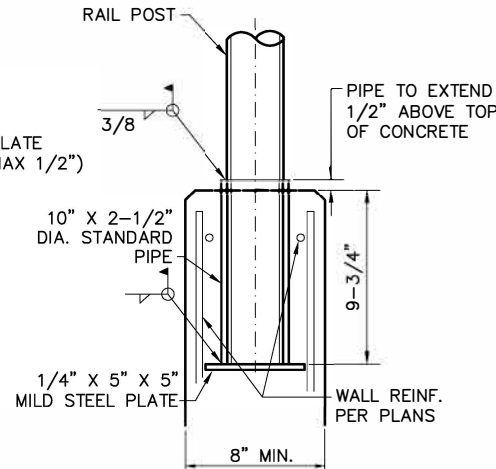
**TYPE 1**

ANCHOR PLATE DETAIL



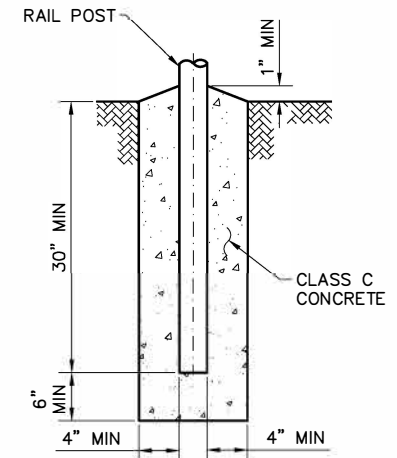
**TYPE 2**

EXPANSION BOLT DETAIL



**TYPE 3**

PIPE SLEEVE DETAIL



**TYPE 4**

GROUND INSTALLATION DETAIL

**NOTE:** SEE PLANS FOR ANCHORAGE DETAILS FOR ATTACHMENT TO SINGULARLY REINFORCED AND NON-REINFORCED WALLS.

DETAIL NO.

**145**



STANDARD DETAIL  
ENGLISH

**SAFETY RAIL**

REVISED

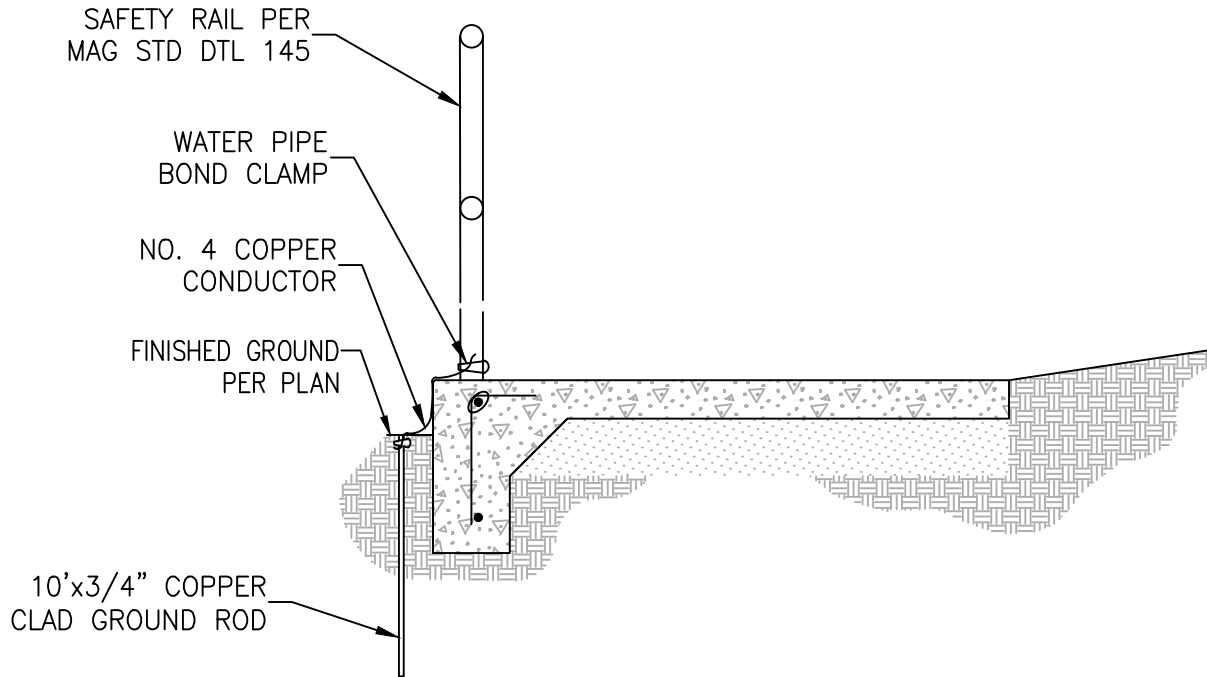
01-01-2020

DETAIL NO.

**145**

# ALAMAR PHASE 5 - DYSART RD

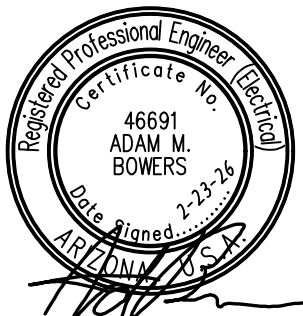
AVONDALE, AZ



## HANDRAIL GROUNDING DETAIL

**NOTE:**

1. INSTALL ONE GROUND ROD ON EACH END FOR HANDRAILS ADJACENT TO SCUPPERS.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL EXISTING UTILITIES AND AVOIDING DAMAGE TO SAME. CONTRACTOR TO CALL 811 FOR BLUE STAKE. FOR ALL MUNICIPAL OR PRIVATELY OWNED UTILITIES EXISTING WITHIN LIMITS OF WORK OF PROJECT, CONTRACTOR TO PRIVATELY LOCATE UTILITIES. IRRIGATION LINES LESS THAN 2" WILL NOT TYPICALLY BE MARKED AND CAUTION SHOULD BE USED TO AVOID DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ALL UTILITIES CAUSED AS A RESULT OF CONTRACT WORK, ALL DAMAGES TO BE REPAIRED IN KIND.

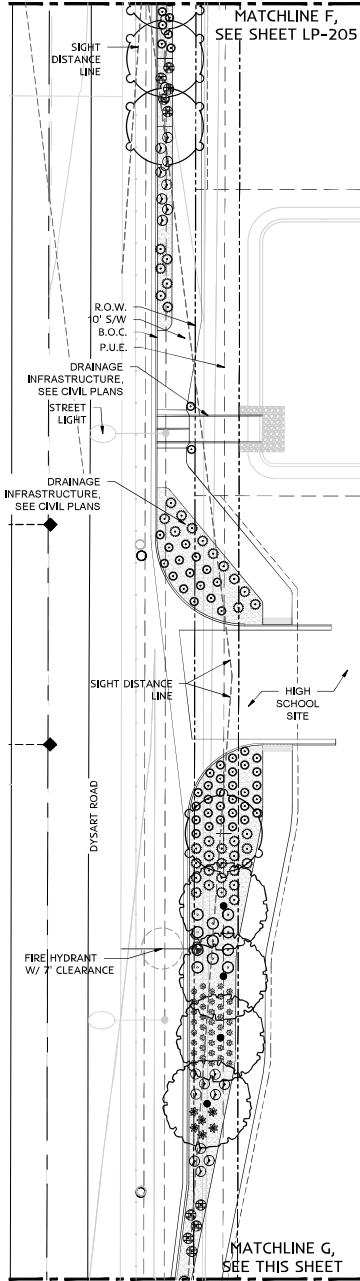


Expires 9-30-28

**WRIGHT**  
engineering corporation  
ELECTRICAL ENGINEERING AND DESIGN

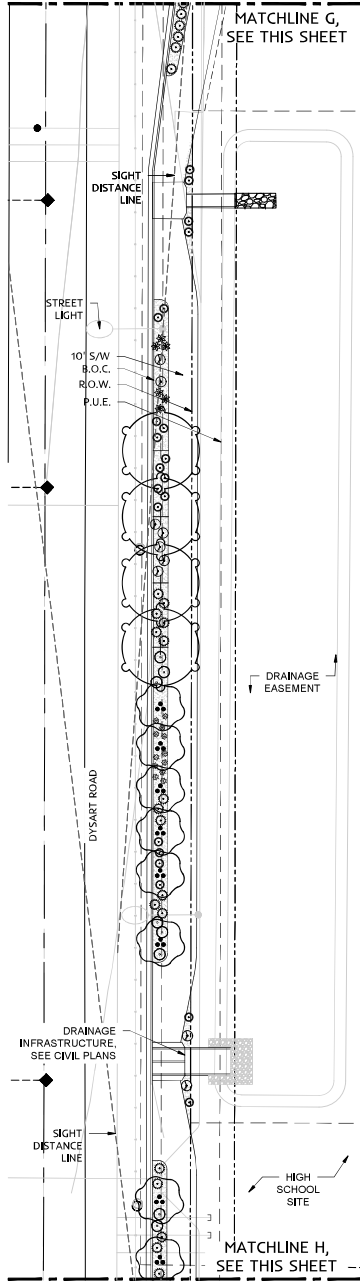
165 EAST CHILTON DRIVE  
CHANDLER, ARIZONA 85225  
PHONE: 480.497.5829  
FAX: 480.497.5807  
www.wrightengineering.us

Wright Project # 23093



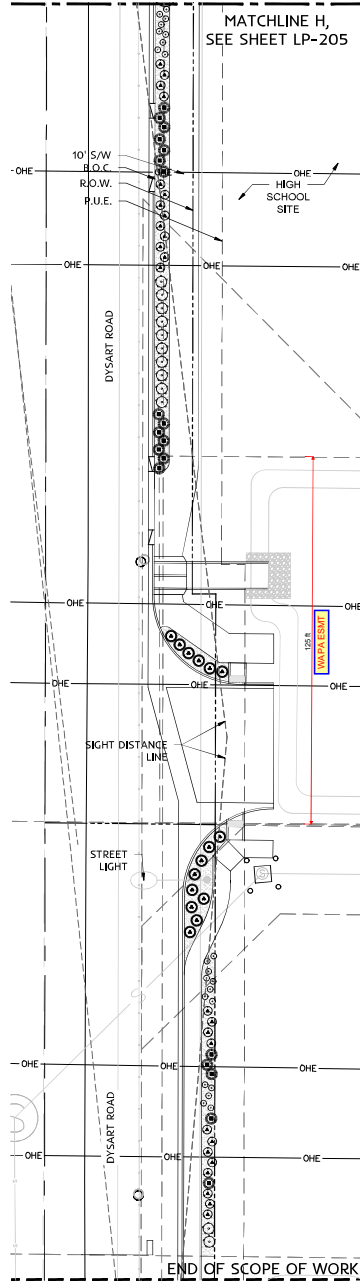
A7 PLANTING PLAN

SCALE: 1"=20'-0"



A8 PLANTING PLAN

SCALE: 1"=20'-0"



A9 PLANTING PLAN

SCALE: 1"=20'-0"

PLANT SCHEDULE	
SYMBOL	BOTANICAL / COMMON NAME
<b>TREES</b>	
	Caesalpinia cacalaco 'Smoothie'™ TM Casalote
	Chilopsis linearis 'Arts Seedless' Desert Willow
	Parkinsonia x 'Desert Museum' Desert Museum Palo Verde
	Prosopis x 'Phoenix'™ Hybrid Mesquite
	Quercus 'Joan Lionetti' Joan Lionetti Live Oak
	Ulmus parvifolia 'Allee' Allee Lacebark Elm

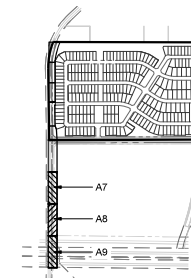
SEE LP-100, OVERALL PLANTING PLAN, FOR TOTAL QUANTITIES AND CONTAINER SIZES.



PLANT SCHEDULE	
SYMBOL	BOTANICAL / COMMON NAME
<b>SHRUBS</b>	
	Acacia redolens Bank Catclaw
	Agave murpheyi 'Rodney' Variegated Murphy's Agave
	Aloe x 'Blue Elf' Aloe
	Ambrosia deltoidea Triangle Bur Ragweed
	Bougainvillea x 'La Jolla' Bougainvillea
	Bougainvillea x 'Rosenska' Bougainvillea
	Caesalpinia pulcherrima Red Bird Of Paradise
	Convolvulus cneorum Bush Morning Glory
	Dalea greggii Trailing Indigo Bush
	Dasylirion wheeleri Grey Desert Spoon
	Dodonaea viscosa 'Green' Green Hopseed Bush
	Encelia farinosa Brittle Bush
	Eremophila glabra 'Kalgoorlie' Kalgoorlie Emu Bush
	Eremophila glabra 'Mingenew Gold' Emu Bush
	Eremophila maculata 'Outback Sunrise' Outback Sunrise Emu Bush
	Hesperaloe funifera Giant Yucca
	Hesperaloe parviflora 'Brakeights'™ Brakeights Red Yucca
	Lantana camara 'Dallas Red' Dallas Red Lantana
	Lantana montevidensis Trailing Lantana
	Lantana x 'New Gold' New Gold Lantana
	Leucophyllum langmaniae 'Lynn's Legacy' Lynn's Legacy Langman's Sage
	Muhlenbergia rigida 'Nashville'™ Nashville Muhly Grass
	Nerium oleander 'Pette Pink' Pette Pink Oleander
	Rosmarinus officinalis 'Prostratus' Dwarf Rosemary
	Ruellia brittoniana Blue Bells
	Tecoma x 'Crimson Flare' Red Yellow Bells
	Tecoma x 'Orange Jubilee' Orange Jubilee Yellow Bells
	Vauquelinia californica Arizona Rosewood

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
	INERT MATERIAL NATURAL DESERT PAVEMENT 3'-Minus - Painted Desert by Rock Pros USA



KEY MAP  
N.T.S.



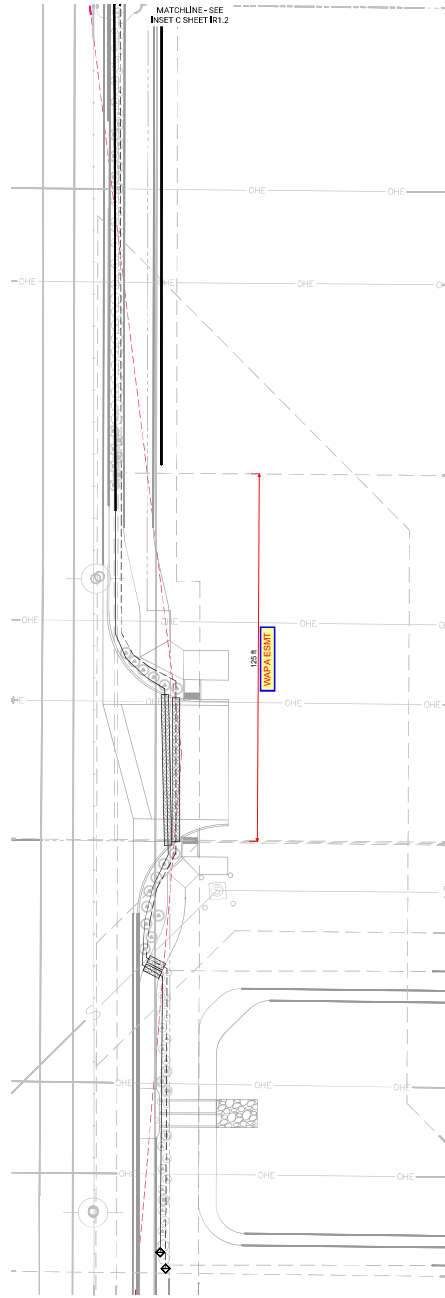
PROJECT PHASE	
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<input checked="" type="checkbox"/>	CONSTRUCTION DOCUMENTS
<input type="checkbox"/>	ISSUE FOR BID SET
<input type="checkbox"/>	ISSUE FOR CONSTRUCTION

REVISIONS		
NO.	DESCRIPTION	DATE
1	SCHOLS. SITE ADDITION	10/17/25

**ALAMAR**  
 CITY OF AVONDALE, MARICOPA COUNTY, ARIZONA  
 PHASE 5 INFRASTRUCTURE DYSART ROAD LANDSCAPE  
 PLANTING PLAN

OWNER	THCM
DESIGNED BY	TH
DATE	11/19/2025
SCALE	AS NOTED
PROJECT NO.	2141
REVISIONS	—
SHEET	LP-206
	9 OF 10 SHEETS

Exhibit A-7



IRRIGATION LEGEND

- SLEEVES: CLASS 200 PVC
  - POINT-OF-CONNECTION ASSEMBLY
  - MAINLINE PIPE: CLASS 200 PVC  
1 1/2-INCH SIZE UNLESS OTHERWISE INDICATED
  - LATERAL PIPE TO SHRUB EMITTERS: CLASS 315 PVC  
3/4-INCH SIZE UNLESS OTHERWISE INDICATED
  - LATERAL PIPE TO TREE EMITTERS: CLASS 315 PVC  
3/4-INCH SIZE UNLESS OTHERWISE INDICATED
  - UNCONNECTED PIPE CROSSING
  - REMOTE CONTROL DRIP VALVE ASSEMBLY: RAIN BRD XCZ-100-PRB-COM
  - QUICK COUPLING VALVE ASSEMBLY: RAIN BRD SRC
  - ISOLATION GATE VALVE ASSEMBLY: MATCO 514
  - FLOW SENSOR ASSEMBLY: FLOMEC QS200 ULTRASONIC
  - BACKFLOW PREVENTION ASSEMBLY: FEBCO 825YA
  - WATER METER AND CURB STOP ASSEMBLY: BY OTHERS
  - MASTER VALVE ASSEMBLY: RAIN BRD PESB
  - FLUSH CAP ASSEMBLY WITH DRIP INDICATOR
- 
- INDICATES CONTROLLER AND STATION NUMBER
  - INDICATES LATERAL DISCHARGE (GPM)
  - INDICATES VALVE SIZE (INCHES)
  - INDICATES LANDSCAPE APPLICATION
- 
- IRRIGATION CONTROLLER UNIT WITH RAIN BRD WR2-48 RAIN/FREEZE SENSOR  
R24 MODULE  
CONTROLLER A: RAIN BRD ESP-LXD
  - GROUNDING AND SURGE ARRESTOR ASSEMBLY: RAIN BRD LSP-1TURF

CONSTRUCTION NOTES

- 1 THE IRRIGATION SYSTEM POINT-OF-CONNECTION (POC) SHALL BE DOWNSTREAM OF THE BRIGATION WATER TAP AND METER INSTALLED BY OTHERS AT THE APPROXIMATE LOCATION SHOWN. INSTALL BACKFLOW PREVENTION UNIT AND MASTER VALVE ASSEMBLY AS INDICATED, SAME SIZE AS POL. VERIFY EXACT LOCATION OF POC WITH OWNERS REPRESENTATIVE.
- 2 PEDESTAL MOUNT THE IRRIGATION CONTROLLER AT THE APPROXIMATE LOCATION SHOWN. COORDINATE ELECTRICAL POWER TO THE CONTROLLER WITH THE OWNERS REPRESENTATIVE. CARE SHOULD BE TAKEN TO INSTALL THE IRRIGATION CONTROLLER IN A LOCATION THAT IS ACCESSIBLE FOR MAINTENANCE AND SCREENED FROM VIEW EITHER BEHIND ENTRY WALLS, NEXT TO BUILDINGS, OR BEHIND PLANT MATERIAL. FINAL LOCATION TO BE APPROVED BY OWNERS REPRESENTATIVE.



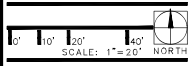
SITE WATER ENGINEERING SERVICES  
833 W. DRAKE RD. SUITE 204  
FORT COLLINS, COLORADO 80526  
Telephone: 970.282.1800  
Web: www.hinesinc.com

Project: ALAMAR - PHASE 5  
Location: CITY OF AVONDALE  
MARIKOPA COUNTY, ARIZONA

Client: BROOKFIELD PROPERTIES  
Client Address:

Designed: MT/JZ  
Drafted: MT/JZ  
Reviewed: MT  
Date Issued:  
02.15.2022







Revision	Title	Date
1	90%CD	12/20/21
2	100%CD	2/15/22
3	100%CD REV	1/17/23
4	100%CD REV2	9/12/23
5	100%CD REV3	12/03/23
6		
7		



Sheet Title: IRRIGATION PLAN ENLARGEMENT

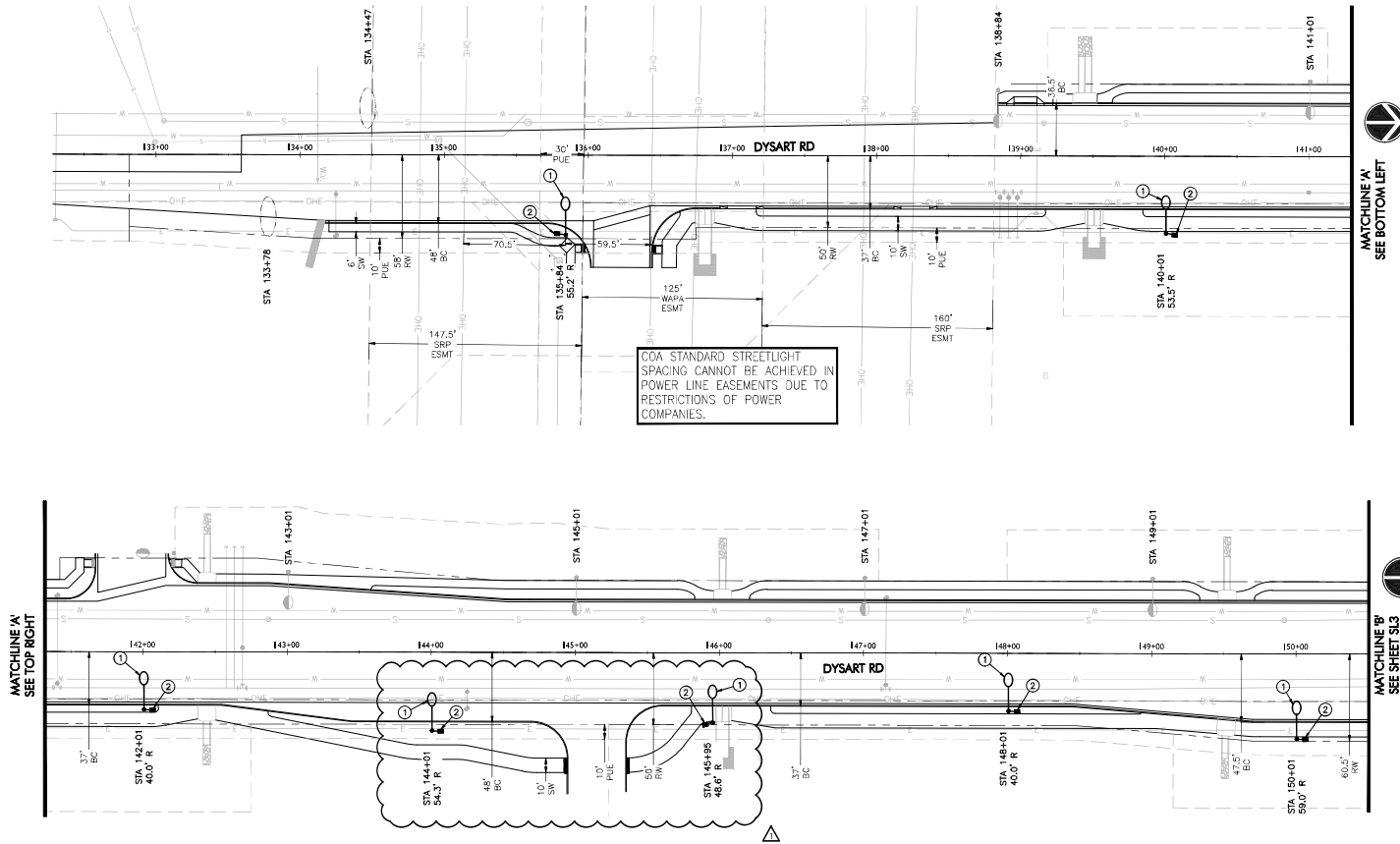
Sheet Number: IR1.3

**LEGEND**

-  118W LED STREET LIGHT, 40' MOUNTING HEIGHT
-  PROPOSED LIGHT BY THREE RIVERS PROJECT
-  FUTURE STREET LIGHT
-  NEW STREET LIGHT CONDUIT
-  PULL BOX
-  FIRE HYDRANT

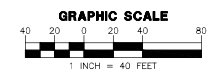
**CONSTRUCTION NOTES**

- ① 118W LED 16,500 LUMEN LUMINAIRE (SEE LUMINAIRE SCHEDULE), 7-PRONG FEED, 32'-0" POLE (DETAIL A1784-1, A1784-2), 8'X8' MAST ARM (DETAIL A1784-3). CENTER POLE PER OFFSET ON PLAN. INSTALL 2-#12 AWG TYPE THHN/TW/IN CONDUCTORS & 1-#12 BOND FROM FUSE HOLDER IN PULL BOX TO LUMINAIRE (DETAIL A1791). DETAILS ON SHEET S-4.
- ② PULL BOX PER UTILITY REQUIREMENTS DETAIL A1700 ON SHEET S-4. 1" PVC SOX 40' CONDUIT WITH 2-#12 AWG TYPE THHN/TW/IN CONDUCTORS & 1-#12 COPPER BOND, & 1-#6 COPPER BOND (FOR GROUNDING) FROM PULL BOX TO POLE HAND HOLE, PER UTILITY REQUIREMENTS. USE ONLY MATERIAL SUITABLE FOR TERMINATING ALUMINUM AND COPPER WIRING WHERE APPLICABLE.



MATCHLINE 'A'  
SEE BOTTOM LEFT

MATCHLINE 'B'  
SEE SHEET S-3



WRIGHT ENGINEERING  
PROJECT NO:  
**21429**

DESIGN BY: JEM  
DRAWN BY: JEM  
CHECKED BY: AMB

**WRIGHT**  
engineering corporation  
ELECTRICAL ENGINEERING AND DESIGN  
165 EAST CHILTON DRIVE • CHANDLER, ARIZONA 85225  
PH: 480.948.2061  
WWW.WRIGHTENGINEERING.US

PROJECT: TITLE

AVONDALE, ARIZONA  
ALAMAR PHASE 5  
DYSART RD  
STREET LIGHT PLAN

NO.	DATE	SUBMITTALS/REVISIONS (DESCRIPTIONS)
1	07/20/20	INCEP-LANE ADDRESS, STREET LIGHTS SHIFTED TO AVOID CONFLICT WITH CURB/SIDEWALK UPDATES.



DRAWING NO:  
**SL2**  
OF 8



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 11/20/21 21429 - ALAMAR PHASE 5 - 07/20/20.dwg



Living and Working Around  
**HIGH-VOLTAGE  
POWER LINES**

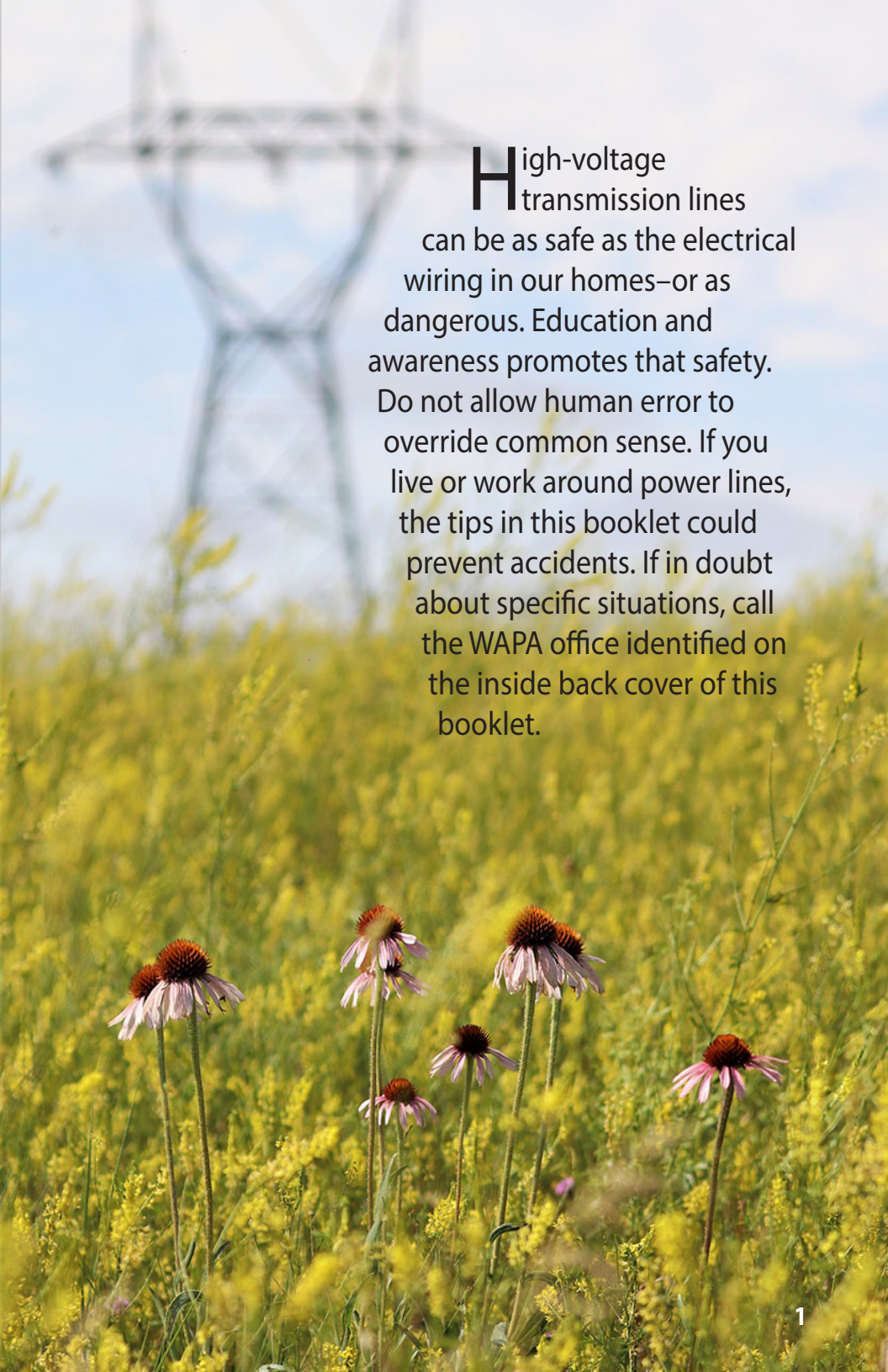


Western Area  
Power Administration

Rev. Nov 2021

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**H**igh-voltage transmission lines can be as safe as the electrical wiring in our homes—or as dangerous. Education and awareness promotes that safety. Do not allow human error to override common sense. If you live or work around power lines, the tips in this booklet could prevent accidents. If in doubt about specific situations, call the WAPA office identified on the inside back cover of this booklet.



## SAFETY FIRST

Western Area Power Administration's (WAPA) facilities meet or exceed the rules of the National Electrical Safety Code and applicable state and local restrictions. Serious accidents involving transmission lines can be avoided if simple precautions are taken. Treat all electrical systems—from the 120-volt wiring in your home to a 500,000-volt transmission line—with respect. The most significant risk of injury from a transmission line is the danger of electrical contact. Electrical contact between an object and an energized conductor (wire) can occur even when the two do not touch. High-voltage transmission lines can create an electrical arc across an air gap.

For example, during operation of a 500,000-volt line, arcing can occur across a distance of seven feet or more. This distance varies with line operating voltage. Unlike wiring at home, conductors of overhead transmission lines are not covered by electrical insulating materials.

Injuries occur more frequently with lower voltage power lines (12,500 to 115,000 volts) than with higher voltage lines because contact is more likely. The electrical conductors of lower voltage lines are closer to the ground, smaller, and less noticeable. However, injury caused by contact with a 12,500-volt line can be just as serious as that from a 500,000-volt line.

## SAFETY NOTES

The National Electrical Safety Code specifies a minimum safe clearance distance for each level of electric transmission voltage. WAPA lines are built so that clearance between line conductors and the ground meet or exceed Code minimums.

Due to their weight, transmission line wires sag, or droop, between their supporting structures. These wires usually come closest to the ground halfway between supporting structures, and clearance is usually greatest near supporting towers or poles.

Vehicles and large equipment (including antennas, etc.) need to stay at least 15 feet away from power lines. This includes harvesting combines, bale wagons, stack movers, cranes, derricks, and booms traveling under all WAPA lines that pass over roads, driveways, parking lots, cultivated fields, or grazing lands.

Operate farm equipment under or near power lines with care. Operating equipment that can be extended inside the minimum 15-foot clearance needs to be done with extreme care, including bale wagons, stack movers, dump bed trucks, cranes, or derricks. When in doubt, contact WAPA for review and specific requirements.

The 15-foot minimum is a federal Occupational Safety and Health Administration requirement (29CFR 1910.269). The clearance maintains safety for operators and laborers alike. Please note that transmission line sag increases when it becomes heated by load and ambient temperatures. What was safe to drive under in December could mean disaster in July.

Lines owned by other utilities may have different height limitations.

Contact WAPA if the need to move your equipment would exceed this in normal use.

## INDUCED VOLTAGES

Under certain conditions, a noticeable voltage can be induced on objects such as a large vehicle, a fence, metal building, or irrigation system. This can happen when the object is near a high-voltage transmission line and is insulated from the ground.

When an induced voltage is present, touching a vehicle, wire fence, metal building, or irrigation system can result in a sensation similar to the shock you may receive when you walk cross a nylon carpet and then touch a doorknob. The static discharge from the rug is momentary. The sensation from a voltage induced by an alternating-current power line is similar, but may continue to be felt as long as contact with the object is maintained.

The magnitude of an induced voltage depends on the voltage of the transmission line, the amount of power being transmitted, distance from the conductor, size or length of the object, and its orientation to the line. Shocks caused by an induced voltage do not usually present a hazard; for this reason, we refer to them as nuisance shocks. However, methods to remove the possibility of hazards are identified later on in this booklet.

Safe practices for various situations—including those involving irrigation systems and wire fences—are discussed below.

## SAFETY DOs & DON'Ts

Don't bring yourself, any object you are holding, or machine you are operating too close to an overhead line.

Don't try to calculate how close you can come to a transmission line.

Don't put yourself or any object higher than 13 feet above the ground in pedestrian areas or 15 feet above the ground in other areas when under a power line.

Don't discount induced voltage. Noticeable voltage can be induced when an object such as a large vehicle, fence, metal building, or irrigation system is near a high-voltage transmission line and is insulated from the ground. Touching the object may result in a shock.

Do operate farm equipment with care when under or near power lines.

Do contact the WAPA office closest to you if in doubt about transmission line clearance.

## USING THE RIGHT-OF-WAY

Before a transmission line is built, WAPA negotiates with the landowner for the right to cross the land as required for the construction, operation, and maintenance of the line. WAPA acquires easement rights to construct, operate, and maintain a transmission line and the right to keep the easement clear of all structures, trees, brush, vegetation,

and any uses that may interfere with the operation or maintenance of the line. Most farm crops can be grown safely under transmission lines.

Generally, the individual landowner retains the right to use the land in ways that do not interfere with the rights granted to WAPA. Call the nearest WAPA office if you plan to landscape, change the existing topography, or install items such as fences, gates, light standards, drain fields, septic systems, underground pipe, irrigation systems, roads, cables, parking areas, storage areas, signs, storage tanks, tennis courts, radio and TV antennas, or any other improvements within the right-of-way. Construction or placement of residences, mobile homes, wells, sheds, machinery, buildings, barns, recreational vehicles, swimming pools, or any other temporary or permanent structures is prohibited within the right-of-way. This minimizes possible safety hazards.

## IRRIGATION SYSTEMS

Many types of irrigation systems have been operated safely near WAPA power lines for years. However, use caution when storing, handling, and installing irrigation pipe, and in operating spray irrigation systems near power lines. Irrigation pipe should be moved in a horizontal position under and near all power lines to keep it away from overhead conductors. Plastic pipe (especially when dirty) should be considered conducting material.

Equipment used to install irrigation systems should be kept away from WAPA transmission lines if the equipment exceeds 15 feet in height. If you need to

exceed this height, contact WAPA first. If you are working near a line, supplement normal precautions by assigning one person to act as a “safety watcher” to warn other workers against unsafe moves such as equipment coming too close to the transmission line.

Observe great caution when moving a mobile high-pressure irrigation system under a transmission line. The small wheelbases of some of these systems tend to make them unstable. If one should tip while under a line, its boom could be lifted into a conductor.

Static voltage that occurs when unloading irrigation pipe near a transmission line is induced and, in this case, a nuisance rather than a hazard. To reduce or eliminate this nuisance, unload the pipe at least 50 feet away from the nearest conductor. If pipe stacked on a rubber-tired vehicle are unloaded under a transmission line, the possibility of nuisance shocks can be reduced by grounding. Clip one end of a wire to a metal rod driven into the ground and the other end to a pipe on the bottom of the stack.

Avoid all situations where a solid stream of water can come in contact with an electrical conductor. Should this occur, a person in contact with the irrigation system, or standing very near it (5 feet or so), may receive a severe shock. When asked, WAPA will help determine safe operating distance for installation or operation of an irrigation system to avoid hazardous situations.





If a sprinkler malfunctions and a solid stream of water reaches a conductor, turn off the water at its source—by switching off the pump—before attempting to correct the problem.

Nozzle risers should be equipped with spoilers or automatic shutoffs. This will prevent a solid stream from striking a conductor if a nozzle breaks or falls off.

Equipment with smaller diameter or fine mist spray nozzles do not usually present a problem. A broken water spray will not conduct a significant amount of current. However, spray containing fertilizer is much more conductive. Additional precautions should be taken if spraying water mixed with fertilizer near transmission line conductors.

High-volume irrigation systems using large nozzles and high pressure to sprinkle big areas are of special concern. Nozzle diameters vary from 3/4 inches to 1-15/16 inches, and water pressures range from 80 to 100 pounds per square inch. Thus, a solid stream discharged from one of these nozzles may reach heights of 30 to 35 feet and go as far as 200 feet. When this system is in operation, keep a safe distance between it and a transmission line. It should not be operated near a transmission line. Even when installation and operation of central pivot circular irrigation

systems within WAPA's easement is specifically authorized by WAPA, those near transmission lines can develop hazardous

shock potentials during operation and maintenance. To eliminate these hazards:

- Provide a good electrical ground for the pivot point.
- Park or perform maintenance on the center pivot system only when the pipe is at right angles to the power line to minimize voltages induced on the system.
- Do not touch the sprinkler pipe or its supporting structures when the system is operating under or parallel to and near a transmission line.

Contact WAPA for assistance in safely locating, operating, and maintaining irrigation systems near transmission lines.

## UNDERGROUND PIPES, TELEPHONE CABLES, AND ELECTRIC CABLES

Underground pipes and cables are compatible with transmission lines if properly installed and maintained. Generally, underground pipes and cables may pass under a line. However, they should be installed at an angle of 60 degrees or more to the transmission line centerline (a right angle crossing is best). Pipes and cables should not be installed closer than 50 feet to a transmission line structure or the buried grounding system. Only in special situations should underground pipe and cable be located closer. Contact the nearest WAPA office before installing any pipe or cable that crosses a WAPA transmission line right-of-way.

## WIRE FENCES

Ungrounded barbed wire and woven wire fences can become electrically charged when located near transmission lines. Normally, the voltage will not be noticeable. WAPA's practice is to ground wire fences if the fence crosses the right-of-way or parallels the line within 150 feet of the transmission line centerline. These fences are grounded with a ground rod driven to a depth of not less than 5 feet into the ground and fastened with clamps to the fence wires. Non-electric fences on wood or concrete posts are grounded each 1/8 mile, and non-electric fences on metal posts are grounded each 1/4 mile. Metallic gates are grounded at the hinge end and electrically bonded to the fence. Fences crossing under a line are grounded on each side of the right-of-way. Electric fences are grounded through lightning arresters designed for use with electric fences. These grounding practices will avoid any possibility of a hazard. If nuisance shocks are experienced when contacting a fence or gate, or if you have any questions about the need for grounding, call the nearest WAPA office.

## VEHICLES

A vehicle under an extra-high-voltage line (345,000 volts or above) will not normally carry induced voltage because of semiconducting tires. To further reduce potential shock, attach a chain that touches the ground to the vehicle. If the vehicle is parked on a nonconductive surface such as dry rock, a nuisance shock could still be experienced. An electric spark from an induced voltage could

ignite gasoline vapor that is created during refueling a vehicle, although WAPA has never had a report of a refueling accident. The possibility of such an accident is remote.

However, WAPA recommends that vehicles be at least 70 feet from the nearest conductor of an extra-high-voltage line when refueling. If a vehicle cannot be moved, connect the metal fuel can to the vehicle with a jumper wire before removing the cap. This lessens the possibility of an explosion. Nonconductive (plastic) containers should not be used in these situations.

## LIGHTNING

Lightning will usually strike the highest object. In rural areas, this may be a power line tower or conductor.

Transmission facilities are designed to withstand lightning strikes by channeling them to ground at the tower. When lightning strikes a tower, damage is usually much less than if a barn or tree had been hit.

Play it safe. Stay away from power lines and other tall objects during electrical storms. Lightning is dangerous if one is standing near where it enters the ground.

## FIRES

Smoke and hot gases from a large fire can create a conductive path for electricity. A fire burning under a transmission line could cause an electric current to arc through the smoke and

hot gases from the conductor to the ground, endangering people and objects near the arc. Field burning and other large fires in and around transmission lines can damage transmission lines and cause power outages. Water and other chemicals used to extinguish those fires should never be directed toward a transmission line.

## KITE FLYING

Kite flying within the transmission line right-of-way easement area is extremely dangerous and discouraged in close proximity of all lines. Always fly a kite so the wind will carry it away from power lines.

Use dry string, wood, and paper when flying a kite. Never use strings or kites or balloons made with metal, including aluminized mylar plastic and ornamental string with strands of metal foil inside.

If your kite gets snagged in a power line, do not pull the string or climb the tower or pole. Drop the string immediately and call the nearest electric utility.

## MODEL AIRPLANES AND DRONES

Model airplane and drone flying is prohibited and dangerous within the transmission line right-of-way easement area.

Always fly model airplanes and drones well away from power lines.

Use only monofilament fishing line or other nonconductive material for a hand line.

If your model airplane or drone gets caught in a power line:

- If it has a handline, let go of it.
- Do not try to pull it down or climb up after it.
- Call the nearest electric utility.

## VANDALISM AND SHOOTING

When hunting, look for power lines before you shoot to avoid severing conductors or breaking insulators.

Insulators, normally made of porcelain, are easily broken. Not only can broken insulators cause flashovers, an insulator string hit by gunfire could pull apart and let the conductor fall to the ground creating a serious hazard to anyone close to the line. It could also cause a power outage and a fire in dry areas.

Unfortunately, vandalism is the frequent cause of insulator damage. Hunters beware: Most land beneath power lines is privately owned. Making insulators and conductors fair game is illegal and can be extremely hazardous.

Anyone causing willful damage to power facilities or property along rights-of-way can be prosecuted by the federal government, the property owner, or both.





Report broken insulators and damaged conductor, or any other damage you see, to the nearest WAPA office identified on the back cover of this brochure.

## METAL OBJECTS

When mounting an antenna on a large vehicle, do not let it extend more than 15 feet above the ground.

If you have an antenna installed where it could fall into a power line, request WAPA or your local utility to assist you in moving it to a safer location.

Before raising the mast or when sailing a boat, check the allowable clearance under any transmission line. We recommend that all masts or guy wires above the deck be connected electrically to an underwater metallic part such as the keel or centerboard. This precaution, reduces the hazard to passengers from lightning strikes or accidental contact with a power line and may save your life. If your boat is going to contact a power line, stay low in the boat and avoid touching metal surfaces or guy wires until the contact with the line is broken.

## TREES AND LOGGING

Logging, tree cutting, or pruning should not be done within WAPA's rights-of-way without first getting permission from the nearest WAPA office. Logging near transmission lines can be very hazardous and requires special caution. If you should come upon a tree that has fallen into a power line, stay away from it.

If you should accidentally cause a tree to fall into a line, run for your life! Do not go back to retrieve your saw or equipment. Call the nearest WAPA office or local utility immediately. If you have trees on or close to the right-of-way that need to be cut, contact WAPA. It is safer to have WAPA remove the trees for you than to do it yourself.

Trees or logs stacked within the rights-of-way may not be public property. People removing trees and logs without permission could be stealing and may be prosecuted.

## CLIMBING

Do not under any circumstances climb on power line poles, towers, or guy wires. Such activities can be extremely hazardous.

## PACEMAKERS

Under some circumstances, voltages and currents from household and other electrical devices may interfere with the operation of some implanted cardiac pacemakers. Studies have also shown that electric fields from power lines could affect a few models with monopolar implant and that are sensitive to the electric power frequency (60 Hz). No such cases have been reported to WAPA.

As a precaution, persons with pacemakers who have reason to be outdoors near high-voltage facilities should consult with a physician to determine whether their particular model

may be susceptible to 60-Hz interference. (People inside vehicles or buildings are largely shielded from power line electric fields.)

If a person with a pacemaker is in an electrical environment and the pacemaker begins to produce a regularly spaced pulse that is not related to a normal heartbeat, the person should leave the environment and consult a physician.

Experience shows that the magnetic fields created by transmission lines have not affected the performance of cardiac-demand pacemakers. This experience is supported by a September 1976 statement from the Food and Drug Administration's Bureau of Radiological Health: "Any possible problems with pacemaker malfunction from electromagnetic interference have been generally eliminated through the development of pacemakers which are highly resistant to such interference. Virtually all presently manufactured pacemakers are not susceptible to interference from sources of electromagnetic radiation encountered in the environment."

Tests indicate a monopolar pacemaker implanted in the abdominal area is the most sensitive to an electromagnetic field. Only 3 percent of all the pacemakers in use are this type. If you are uncertain about the type of pacemaker you have, consult a physician.

## EXPLOSIVES

If you plan to detonate explosives near a WAPA transmission line, notify WAPA well in advance.

As a general rule, do not use electric detonating devices when blasting within 1,000 feet of a power line. Non-electric methods of detonation will avoid the danger of accidentally discharging an electric blasting cap.

## CONCERNING TOWERS AND CONDUCTORS

- Do not climb towers.
- Do not shoot or otherwise damage insulators.
- Never touch or get near a fallen line.
- Do not attempt to dismantle tower steel members.
- Do not cut or remove tower or pole ground wires.
- Do not apply additional loads to tower members for temporary support of a structure or vehicle.
- Stay away from towers and lines during extreme wind storms, thunderstorms, ice storms, or under other extreme conditions.

Preventive measures include:

- Stay away from and report broken or damaged insulators to WAPA or your

nearest electrical utility.

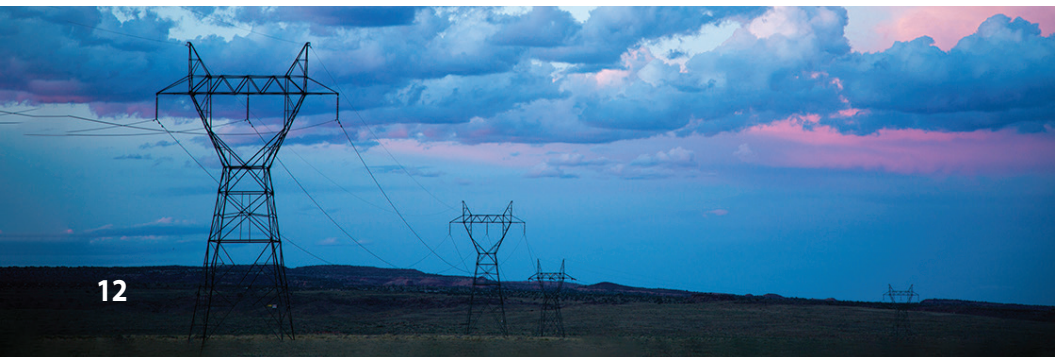
- Stay away from and report broken, damaged, or abnormally low hanging lines to WAPA or your nearest electrical utility.

**Never climb towers or poles.**

## CONCLUSION

We live in an age of electric power. Almost everything we do requires electricity. High-voltage power lines have become about as commonplace as the wiring in our homes and are just as safe. Nevertheless, every year people are killed or seriously injured by power lines and wiring. In almost every case, lives could have been saved and injuries avoided if the basic safety practices outlined in this booklet had been followed. WAPA and your local utilities make every effort to design and build power lines that are safe to live and work around.

Ultimately, however, the dangers of high-voltage lines depends upon people behaving safely around them. No line can practicably be made safe from a person who, through ignorance or foolishness, violates the basic principles of safety. So, please, take time now to learn the practices outlined in this booklet and share your knowledge with your family, friends, and colleagues. Your own life, or that of a loved one, might well hang in the balance.



## CONTACT US

Call or write your local WAPA office or Public Affairs in Lakewood, Colorado, to share your comments or to find out more about WAPA.

### **WESTERN AREA POWER ADMINISTRATION**

P.O. Box 281213  
Lakewood, CO 80228-8213  
720-962-7050

### **COLORADO RIVER STORAGE PROJECT MANAGEMENT CENTER**

1800 South Rio Grande Ave.  
Montrose, CO 81404-4800  
801-524-5493

### **DESERT SOUTHWEST REGIONAL OFFICE**

P.O. Box 6457  
Phoenix, AZ 85005-6457  
602-605-2525

### **ROCKY MOUNTAIN REGIONAL OFFICE**

P.O. Box 3700  
Loveland, CO 80539-3003  
970-461-7200

### **SIERRA NEVADA REGIONAL OFFICE**

114 Parkshore Drive  
Folsom, CA 95630-4710  
916-353-4416

### **UPPER GREAT PLAINS REGIONAL OFFICE**

P.O. Box 35800  
Billings, MT 59107-5800  
406-255-2800

[www.wapa.gov](http://www.wapa.gov)  
[publicaffairs@wapa.gov](mailto:publicaffairs@wapa.gov)



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**ITEM NUMBER:** 5.c.

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**SUBJECT:** Third Amendment to the Lease Agreement with BFI Pebble Creek, LLC for the Southwest Family Advocacy Center

**MEETING DATE:** 4/20/2026

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**TO:** Mayor and Council

**FROM:** Memo Espinoza, Chief of Police

**THROUGH:** Dale Nannenga, Assistant City Manager, (623) 333-1017

**REVIEWED:** Ron Corbin, City Manager, (623) 333-1011

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**STRATEGIC PLAN:**

This agenda item supports the following Avondale Strategic Outcome Area: **Community Well-Being**

Avondale is a city where all people feel safe, supported, and connected to resources that promote and enhance their well-being. The City prioritizes public safety, natural resources, healthcare, and wellness while promoting mental, physical, and emotional health for all to enjoy an enriching quality of life.

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**PURPOSE:**

City Council will consider a request to approve a Third Amendment to the Lease Agreement with BFI Pebble Creek, LLC for the Southwest Family Advocacy Center, and authorize the Mayor or City Manager, City Attorney and City Clerk to execute the necessary documents. The Council will take appropriate action.

**BACKGROUND:**

The City entered into a lease agreement with CNC Pebble Creek, LLC on April 10, 2012, for the property located at 2333 N. Pebble Creek Parkway, Goodyear, Arizona 85395. On June 27, 2016, the agreement was amended changing the definition of the premises to the entire 2333 building. On June 1, 2021, the agreement was amended changing the maintenance terms and conditions. On December 30, 2022, the agreement was modified, changing CNC Pebble Creek, LLC's rights, titles, and interest for the lease agreement. The current term of the Lease expires on July 31, 2026.

**DISCUSSION:**

The building located at 2333 N. Pebble Creek Parkway, Goodyear, Arizona 85395, is used for the Southwest Family Advocacy Center (SWFAC), a multi-agency, one-stop center dedicated to the investigation, treatment, and support services for victims of abuse. The proposed amendment extends the lease to continue SWFAC's operations for a three-year extension at \$30 per sq/ft with 3% annual increases.

**BUDGET IMPACT:**

The Center will incur an additional charge of \$71,812.50, plus an annual overage for maintenance and repairs estimated at approximately \$30,000, beginning August 1, 2026. The lease amounts shall be subject to an

annual increase of three percent (3%). The City will be responsible for twenty-five percent (25%) of the total annual increase, with the remaining seventy-five percent (75%) allocated equally among the other three partnering agencies each year.

**RECOMMENDATION:**

Staff recommends that the City Council approve a Third Amendment to the Lease Agreement with BFI Pebble Creek, LLC for the Southwest Family Advocacy Center, and authorize the Mayor or City Manager, City Attorney, and City Clerk to execute the necessary documents.

*Contact person for document distribution: Jenny Chavez*

### THIRD AMENDMENT TO LEASE AGREEMENT

**THIS THIRD AMENDMENT TO LEASE AGREEMENT** (this “Third Amendment”) is made and entered into as of the Effective Date by and between **BFI PEBBLE CREEK, LLC**, an Arizona limited liability company (“Landlord”) and **CITY OF AVONDALE**, an Arizona municipal corporation (“Tenant”). Landlord and Tenant are referred to collectively as the “Parties.” The “Effective Date” shall be the date as defined below.

#### RECITALS

A. CNC Pebble Creek, LLC, an Arizona limited liability company (“CNC”) and Tenant entered into that certain Lease Agreement dated April 16, 2012 (“**Lease Agreement**”), for certain space located at 2333 N Pebble Creek Parkway, Ste 200, Goodyear, Arizona 85295 (the “**Premises**”), thereafter CNC and Tenant amended the terms of the Lease Agreement under a First Amendment to Lease Agreement executed June 27, 2016, which, among other things, changed the definition of the Premises to the entire 2333 building (“**First Amendment**”), thereafter CNC and Tenant amended the terms of the Lease Agreement under a Second Amendment to Lease Agreement executed June 1, 2021, which, among other things, amended the maintenance terms and conditions of the Lease Agreement (“**Second Amendment**”), thereafter CNC assigned to Landlord, and Landlord assumed from CNC all of CNC’s rights, title and interest for the Lease Agreement as modified by the First Amendment, under an Assignment and Assumption of Leases dated December 30, 2022 (“**Assignment**”). The Lease Agreement as modified by the First Amendment, and by the Assignment is hereinafter collectively referred to as the “**Agreement**”. The current Term of the Lease expires on July 31, 2026.

B. The current Term of the Lease expires on July 31, 2026.

C. The Parties desire to enter into this Third Amendment to renew the Term for an additional period and set forth the Rent for the renewal term.

#### AGREEMENTS

NOW THEREFORE, in consideration of the mutual covenants set forth herein and the faith full performance thereof, and for other good and valuable consideration, the receipt of which is hereby acknowledged, the Parties hereto agree as follows:

1. Accuracy of Recitals. The Parties hereby acknowledge the accuracy of the Recitals which are incorporated herein by this reference.

2. Term. The Parties desire to renew the Term for a period of thirty-six months (the “Renewal Term”). The Renewal Term shall begin on August 1, 2026, and expire on July 31, 2029.

3. Renewal Term Rent. The Rent for the Renewal Term shall be as follows

<b>Months</b>	<b>Annual Rent</b>	<b>Monthly Rent</b>	<b>Rate/SF</b>
August 2026- July 2027	\$574,354.28	\$47,862.85	\$30.00
August 2027-July 2028	\$591,584.82	\$49,298.74	\$30.90
August 2028-July 2029	\$609,389.86	\$50,782.48	\$31.83

4. Effect of Amendment. Except as specifically modified by this Third Amendment, the Agreement remains in full force and effect and is in all events ratified, confirmed and approved.

5. Counterparts. This Third Amendment may be executed in multiple counterparts, each of which shall be deemed to be an original, but all of which, together, shall constitute one and the same instrument.

**IN WITNESS WHEREOF**, the Parties have executed this Amendment as of the last date set forth (the “Effective Date”) under the signatures of the Parties below.

**“Landlord”**

**BFI PEBBLE CREEK, LLC**, an Arizona limited liability company

\_\_\_\_\_  
Tyson K. Borum, Manager

Date: \_\_\_\_\_

**“Tenant”**

**CITY OF AVONDALE**,  
an Arizona municipal corporation

\_\_\_\_\_  
Ron Corbin, City Manager

Date: \_\_\_\_\_

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**ITEM NUMBER:** 5.d.

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**SUBJECT:** Settlement and Payment for the Claim of Charles Montoya

**MEETING DATE:** 4/20/2026

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**TO:** Mayor and Council

**FROM:** Nicholle Harris, City Attorney

**THROUGH:** n/a

**REVIEWED:** Ron Corbin, City Manager, (623) 333-1011

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**STRATEGIC PLAN:**

N/A

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**PURPOSE:**

City Council will consider a request to approve a settlement in the amount of \$250,000 in the matter of Charles Montoya and authorize the City Attorney to execute the settlement agreement.

**BACKGROUND:**

Charles Montoya filed a notice of claim with the City on June 22, 2022, and a complaint with the Maricopa County Superior Court on December 22, 2022.

**DISCUSSION:**

The City Attorney's Office has negotiated a settlement with Mr. Montoya and is recommending approval of the settlement in the amount of \$250,000.

**BUDGET IMPACT:**

The Risk Fund maintains a fund balance to pay claims against the City. With approval of this settlement, the City's balance will remain above our required reserve balance.

**RECOMMENDATION:**

Staff is recommending the City Council approve the settlement amount of \$250,000 with Charles Montoya and authorize the City Attorney to execute the settlement agreement.

*Contact person for document distribution: Nicholle Harris*

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**ITEM NUMBER:** 6.a.

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**SUBJECT:** Public Hearing and Resolution 1026-0426 - Cerro Vista Minor General Plan Amendment - Application PL-25-0217

**MEETING DATE:** 4/20/2026

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**TO:** Mayor and Council

**FROM:** Jodie Novak, Director of Development Services

**THROUGH:** n/a

**REVIEWED:** Ron Corbin, City Manager, (623) 333-1011

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**STRATEGIC PLAN:**

This agenda item supports the following Avondale Strategic Outcome Area: **Economic Growth and Prosperity**

Avondale supports a thriving local economy by fostering and supporting business growth, job creation, and workforce development. The City advances economic development, attracts high-quality entertainment and full-service amenities, and promotes a variety of attainable housing opportunities that strengthen the City's vitality.

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**PURPOSE:**

City Council will hold a public hearing to consider a request to adopt Resolution 1026-0426, approving a request by Carolyn Oberholtzer of Bergin, Frakes, Smalley and Oberholtzer for a minor General Plan amendment for Cerro Vista, an approximately 10.1 net-acre site located at 12104 W. Van Buren Street. If approved, the proposed minor General Plan amendment will change the subject property's General Plan 2030 Land Use Map Designation from High Density Residential to Medium/High Density Residential and authorize the Mayor or City Manager, City Attorney and City Clerk to execute the necessary documents. The Council will take appropriate action.

**BACKGROUND:**

The approximately 10.1-net-acre subject property (Exhibits A and B) is located at 12104 W. Van Buren Street, Assessor's Parcel Number (APN) 500-01-001W and 500-01-001X. The property was annexed into the City on May 5, 1978. The subject property is currently zoned R-4 Multi-Family Residential and is vacant land. A concurrent application (PL-25-0218) is being processed to rezone the property to Cerro Vista Planned Area Development (PAD) with underlying R-3 Multi-Family Residential to facilitate the development of a 99-unit single-story, condo-platted residential project.

The site is designated as High Density Residential (12 to 30 dwelling units per acre) on the General Plan 2030 Land Use Map (Exhibit C). The proposed minor General Plan amendment would change the designation to Medium/High Density Residential (4 to 12 dwelling units per acre). The Medium/High Density Residential category should include a combination of single-family attached, detached, and townhomes, or condominiums,

patio homes, and casita housing choices. The variety of housing choices in a specific development should be in a planned and clustered setting unique to Avondale with substantial open space for recreational amenities to service the residents and encourage resident interaction and outdoor activities. This category can also include workforce housing options. This level of intensity should promote a village environment with easy access to services and recreation. Churches, parks and open spaces, and public facilities are permitted in this land use category. The proposed detached single-family style units are allowed in this land use category.

The existing uses and zoning of the surrounding properties are as follows:

**North:** Fairway Commerce Center light industrial use; designated in the General Plan as Business Park, and zoned Fairway Commerce Park Planned Area Development (PAD) with the underlying Commerce Park (CP).

**South:** Coldwater Springs Apartments and Highland Preparatory Academy; designated in the General Plan as High Density Residential and Education, and zoned Coldwater Springs Planned Area Development (PAD).

**East:** River Crossing Self Storage; designated in the General Plan as Business Park, and zoned Community Commercial (C-2).

**West:** Existing single-family residential dwellings; designated in the General Plan as Business Park, and zoned Agricultural (AG).

### **SUMMARY OF REQUEST:**

The applicant is requesting approval of a minor General Plan amendment (GPA) to the General Plan 2030 Land Use Map to change the subject property's land use designation from High Density Residential to Medium/High Density Residential. This amendment is intended to facilitate the development of Cerro Vista, a 99-unit single-story condo platted residential development with detached single-family style homes (Exhibit D).

The proposed housing product is described as an ownership-oriented development intended to provide attainable, entry-level homes; detached single-family residential. Units will consist of two (2)- and three (3)-bedroom floor plans, each including a minimum 300-square-foot fenced private rear yard. The development will include a minimum of four distinct floor plans, each offering three architectural elevations. No adjacent or directly opposing homes will be identical. Architectural detailing will include enhanced front elevations, four-sided wall plane elevation treatments with window detailing, and covered front porches. Building height is limited to 30 feet, consistent with R-3 zoning development standards. The homes must comply with the City of Avondale's Single-Family Residential Design Manual and feature high-quality architectural and aesthetic design. In lieu of garages, carport parking is provided.

Primary vehicular access to the site is proposed from both Van Buren Street and Corporate Drive. The main project entrance will be provided from Corporate Drive, functioning as the primary point of ingress and egress for residents and visitors, while a secondary access point will connect to Van Buren Street to provide additional circulation and emergency access. Internal circulation is organized through a series of private drives and shared parking courts that distribute parking throughout the development while minimizing large surface parking fields.

Open space and amenity areas are distributed throughout the development to provide both centralized and neighborhood-scale gathering spaces. The project includes a primary amenity area described by the applicant as a "Central Community Hub," which is intended to serve as the focal point of the community and will include features such as shade structures, seating areas, built-in grills, a pizza oven, picnic tables, turf areas, and fire pit gathering spaces. Additional smaller amenity nodes are planned throughout the site and may include elements such as shaded seating areas, dog-friendly spaces, community library features, landscaped green areas, and bicycle-related amenities.

### **PUBLIC PARTICIPATION:**

A neighborhood meeting to discuss the proposal with neighboring property owners and other interested parties was held on February 11, 2026. An overview of the discussion topics is outlined in the Neighborhood Meeting Summary, attached as Exhibit E. In addition to City staff and the applicant's team, there was one (1) City Council member at the in-person neighborhood meeting. The attendee raised general questions about unit ownership, unit pricing, the size of each unit floor plan, responsibility of landscape maintenance, and if there will be a Condo-Owners Association, all of which were addressed by the applicant.

All required notifications for the Planning Commission and City Council public hearings have been completed. To date, no comments have been received on the City's Avondale Connect public forum.

**PLANNING COMMISSION ACTION:**

On March 18, 2026, the Planning Commission held a public hearing regarding the minor General Plan amendment (PL-25-0217) and PAD Rezone (PL-25-0218) requests. There were no comments from the public.

The Planning Commission raised a question about traffic congestion along Corporate Drive. Staff indicated that a future traffic signal is planned at the intersection of Corporate Drive and Fairway Drive, and that Traffic Engineering identified no concerns due to the project's reduced density. The Planning Commission further asked about traffic impacts near the high school located to the west of the project. The applicant explained that a full traffic impact analysis was completed as part of the review, and that the project will include targeted roadway enhancements, such as a left-turn lane and deceleration lane, on Corporate Drive. After discussion, the Planning Commission passed a motion (5-0 vote) to recommend approval of the major PAD amendment to the City Council.

**ANALYSIS:**

The City Council must determine that the proposed amendment meets four (4) findings prior to recommending approval. Staff's analysis of each of the required findings is presented below.

**1. The development pattern contained on the Land Use Plan inadequately provides the appropriate optional sites for the use or change proposed in the amendment.**

The General Plan notes that only two (2) percent of the property within the City is designated for Medium/High Density Residential land uses. Given the limited availability of land designated for this category, the Land Use Plan does not provide sufficient opportunity within the City to accommodate the proposed single-story condominium detached single-family residential housing product. The request seeks to modify the designation from High Density Residential (12–30 DU/AC) to Medium/High Density Residential (4–12 DU/AC) to allow for a 99-unit residential development at approximately 8.6 DU/AC. According to the applicant, this revised designation better aligns with current market conditions and provides an appropriate alternative housing product.

**2. The amendment constitutes an overall improvement in the 2030 Plan and is not solely for the good or benefit of a particular landowner or owners.**

The proposed amendment reduces density from the previously approved 249-unit multi-family residential apartment project (approximately 21.63 DU/AC) to a 99-unit development (approximately 8.6 DU/AC), while maintaining an urban character appropriate along Van Buren Street.

The proposed development is intended to provide attainable housing and increase housing diversity. This development will align with General Plan goals, including promoting a variety of housing types, encouraging condominium development for ownership opportunities, supporting infill development, and ensuring appropriate transitions between varying land use intensities.

The General Plan amendment furthers, most notably:

- Land Use Element Goal #1, Policy D, "Enhance the attractiveness of infill parcels as an option for new development throughout Avondale."
- Housing Element Goal #2, Policy B "Encourage the development of condominiums and townhomes which appeal to people seeking to own their residence, but who may not want maintenance responsibilities."

**3. The amendment will not adversely impact the community as a whole and/or a portion of the community by: (1) significantly altering acceptable land use patterns; (2) requiring large and more expensive public infrastructure improvements including, but not limited to roads, water, wastewater, and public safety facilities than would otherwise be needed without the proposed change, or (3) adversely impacting the existing land use.**

The proposed Medium/High Density Residential designation will continue to be compatible with surrounding development and envisioned future land uses. The reduced height and density compared to the previously approved two (2)- to three (3)-story multi-family residential apartment project will provide an appropriate transition between the existing self-storage facility and future business park land uses.

The amendment reduces density from approximately 23.94 DU/AC under the prior entitlement to approximately 8.6 DU/AC. The proposed project is expected to significantly decrease traffic volumes and reduce demand on public infrastructure systems. The site will connect to existing municipal water and wastewater lines located adjacent to the property, and any required improvements will be addressed during the condo platting and site plan and design review.

The project site is not located within hillside, riparian, or floodway areas. The development is intended to integrate with the surrounding mix of business park, education, high density residential, and agricultural uses by providing a compatible residential transition and enhanced roadway improvements along Van Buren Street and Corporate Drive.

#### **4. The amendment is consistent with the overall intent of the General Plan 2030 and other adopted plans, codes, and ordinances.**

This minor General Plan amendment is consistent with the overall intent of the General Plan 2030, including Land Use, Economic, and Housing policies. The proposed amendment furthers several goals of the General Plan 2030, including but not limited to:

- Land Use Element Goal #1, Policy D: “Enhance the attractiveness of infill parcels as an option for new development throughout Avondale.”
- Housing Element Goal #2, Policy B: “Encourage the development of condominiums and townhomes which appeal to people seeking to own their residence, but who may not want maintenance responsibilities.”
- Housing Element Goal #3, Policy D: “Encourage subdivision design that promotes non-vehicular access to trails and transit routes/centers as a component of a healthy lifestyle.”

The property is also located within the Freeway Corridor Specific Plan area, which focuses on compatible residential districts that support employment, commercial, and mixed-use areas. The proposed development maintains an urban character appropriate along Van Buren Street and surrounding employment areas while introducing a lower density than previously approved.

#### **DISCUSSION:**

Staff recommends approval of the request for the following reasons:

- The proposed minor General Plan amendment meets the required findings for a General Plan amendment per the Avondale 2030 General Plan.
- The amendment supports orderly growth and development by promoting efficient land use patterns and infrastructure investment.
- The amendment furthers the City’s Housing Development goals by creating a workforce housing product.
- Adequate public infrastructure to support the proposed development either presently exists or will be constructed by the developer.
- No significant objections were raised during the public participation process.

#### **BUDGET IMPACT:**

No budget impacts.

#### **RECOMMENDATION:**

The City Council will conduct a public hearing and adopt a Resolution, approving Application PL-25-0217, a

request to amend the General Plan 2030 Land Use Map designation from High Density Residential to Medium/High Density Residential, and authorize the Mayor or City Manager, City Attorney and City Clerk to execute the necessary documents.

*Contact person for document distribution: Cole Hunger, Senior Planner*

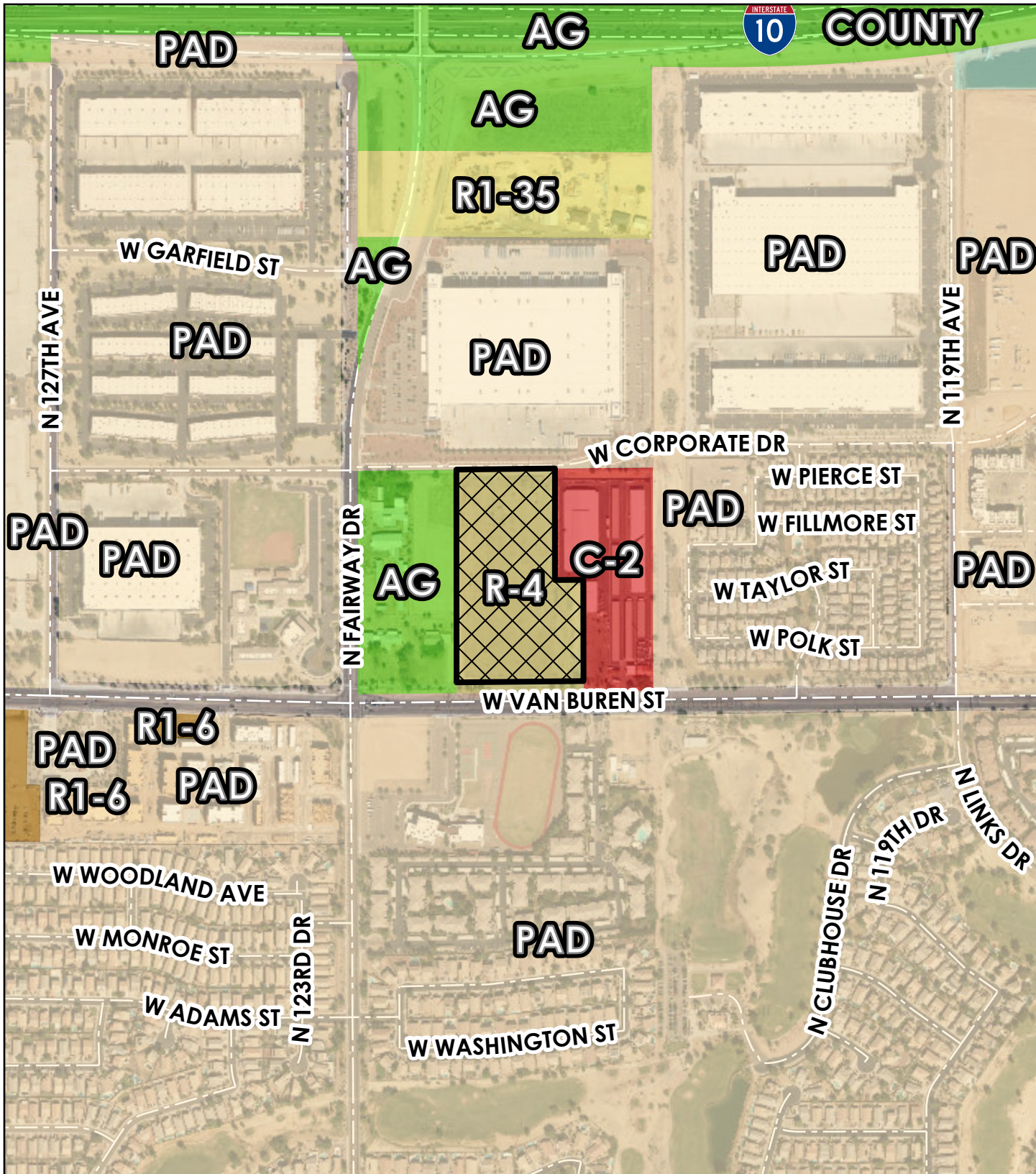


Aerial Map



Subject Property



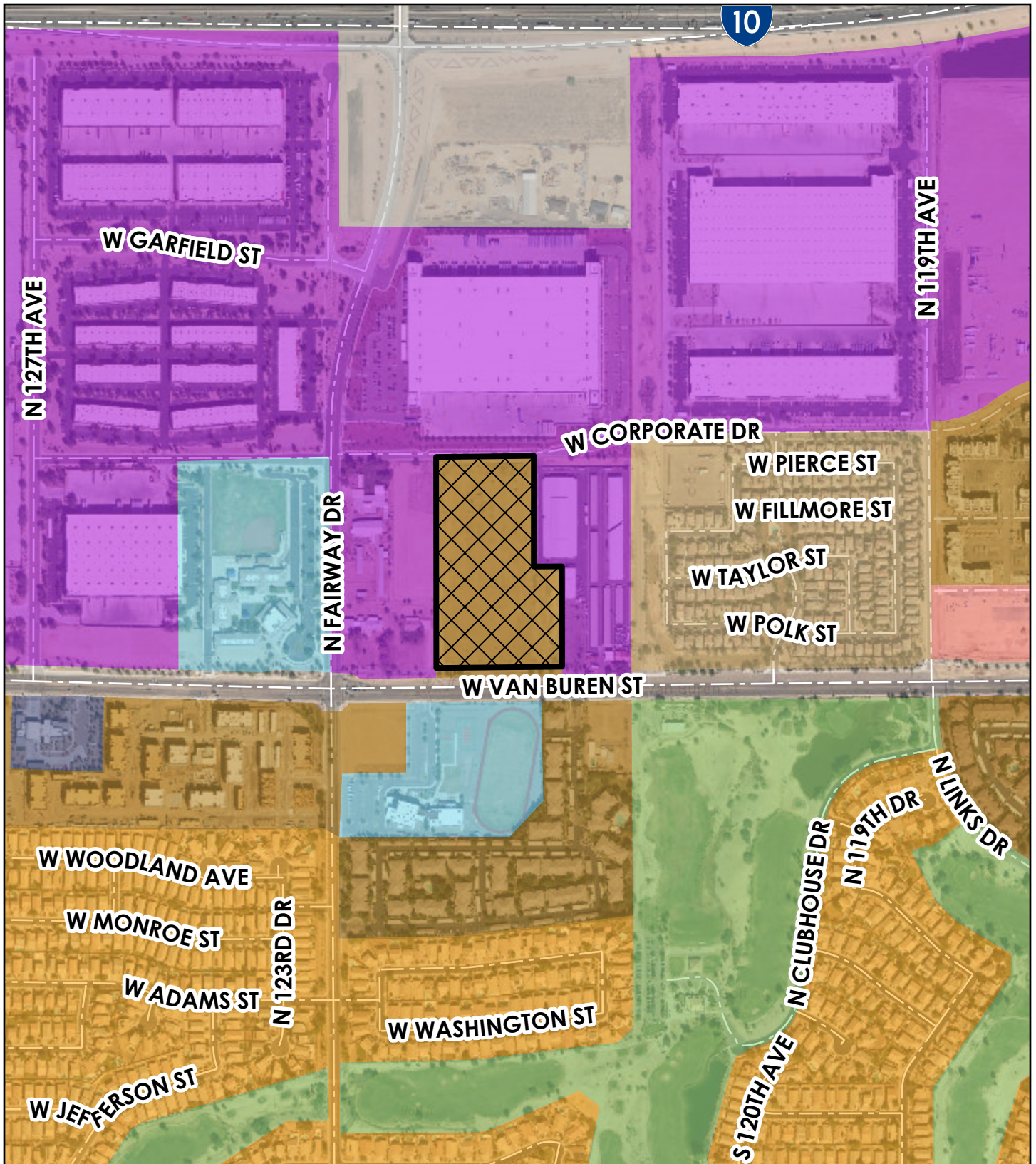


### Zoning Vicinity



Subject Property





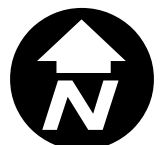
## General Plan Land Use



- Medium Density Residential
- Medium/High Density Residential
- High Density Residential
- Local Commercial
- Business Park
- Open Space and Parks
- Public/Civic
- Education
- High Intensity Office



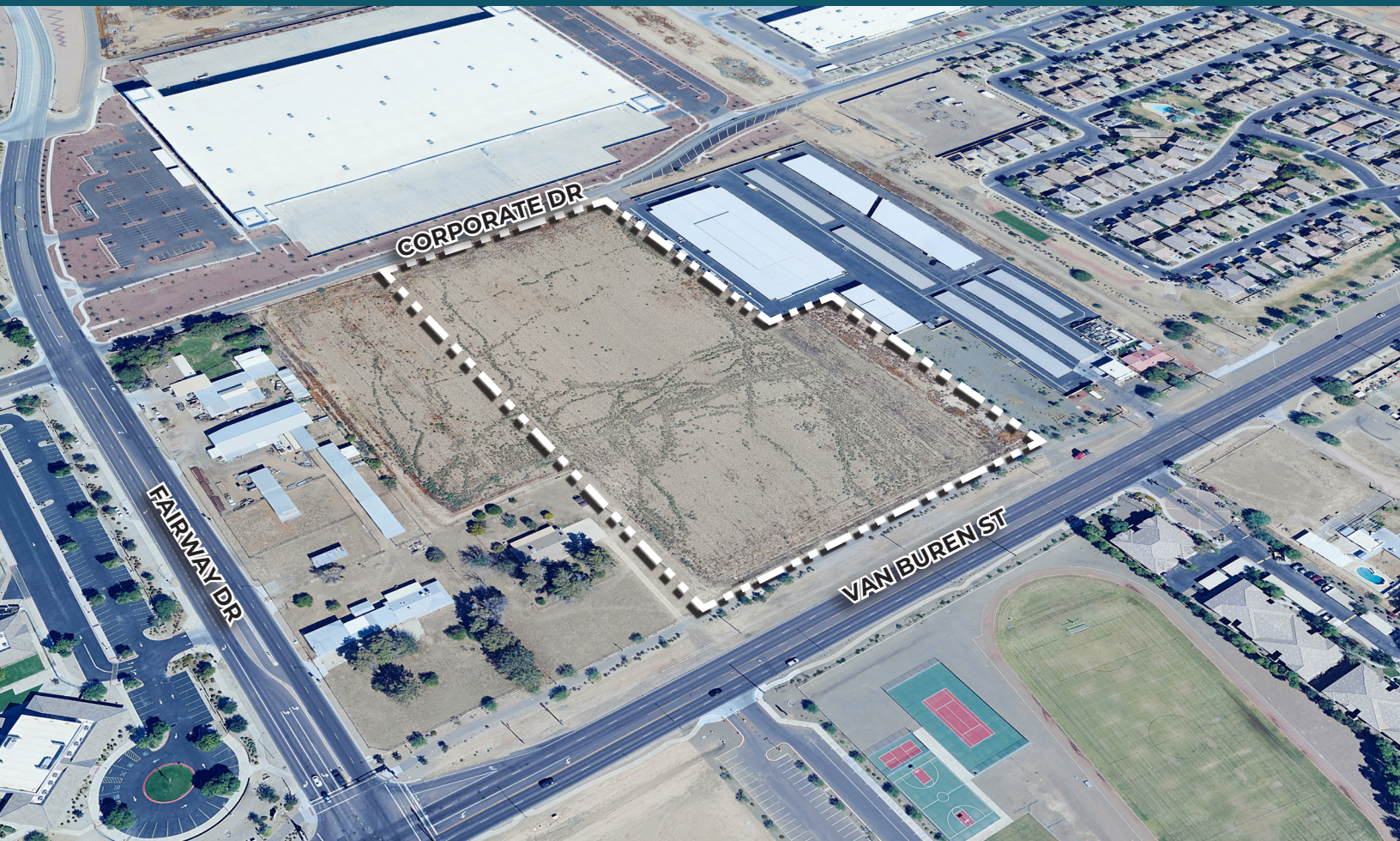
Subject Property



# CERRO VISTA CONDOS

## MINOR GENERAL PLAN AMENDMENT

CASE #: PL-25-0217  
1ST SUBMITTAL: AUGUST, 2025  
2ND SUBMITTAL: NOVEMBER, 2025



PRESENTED BY:



B | F | S | O

BERGIN, FRAKES, SMALLEY & OBERHOLTZER

Kimley»Horn

# APPLICANT TEAM

## APPLICANT

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Figure 1: Vicinity Map

Figure 2: Regional Context Map

Figure 3: Existing & Proposed Zoning Map

Figure 4: Existing & Proposed General Plan Land Use Map

# 1. INTRODUCTION

RVi Planning & Landscape Architecture, in conjunction with BFSO Law, is pleased to submit this minor general plan amendment application on behalf of Lennar Corporation for the development of a unique condominium project, in lieu of a previously entitled multi-family residential project, known as Cerro Vista Condos. The subject site is approximately 11.5 gross and 10.1 net acres, located 500 feet east of the northeast corner of Van Buren Street and Fairway Drive. The APN's associated with this request are 500-01-001W and X (the "Property"). See *Figure 1: Vicinity Map*.

This application requests the City's support to modify the 2030 General Plan land use designation from High Density Residential (12-30 DU/AC) to Medium/High Density Residential (4-12 DU/AC), to allow for the development of a 99-unit condo-platted, for-sale detached single-story neighborhood. Cerro Vista Condos was designed to provide a higher density, alternative housing product, that created a transition between the medley of uses present within the vicinity. This proposed decrease in the current entitled density reduces impacts upon lower intensity uses, such as single-family communities, while contributing towards housing diversity.

The applicant has submitted a concurrent PAD Rezoning Application to modify the site's zoning from R-4 to PAD with a comparative district of R-3.

# 2. SITE BACKGROUND

Historically, the Cerro Vista property has been used for agricultural purposes. In August 2021, Avondale City Council approved a 249-unit (21.63 DU/ac) multifamily residential project for the Property to be known as "Cerro Vista" (Ordinance 2041-0821). At that time, the Property was rezoned from the previous AG and C-2 zoning to the R-4 zoning district (PL-18-0800). A companion minor General Plan Amendment changing the Property's land use designation from Urban Residential (30+ DU/ac) to a High Density Residential (12-30 DU/ac) was also approved (PL-18-0079). Conceptual site plans proposed a four-building complex of two to three stories in height massing along the Property's street frontages. In August 2024, Avondale Development Services granted a one-year extension of Site Plan and Design Review to the Cerro Vista owner.

Due to shifts in market demand, the intended development did not occur, leaving the site in its current vacant condition. The surrounding area presents a diverse mix of commercial and residential activity. See *Figure 2: Regional Context Aerial*. Directly east of the Property is River Crossing Self Storage (C-2), and just beyond that, the single-family development Desert Springs Village (PAD). Due north of the Property, across Corporate Drive, is the Fairway Commerce Center (PAD), a flex industrial warehouse development currently in use as an employment and distribution center. South of the Property, across Van Buren Street, is the Highland Prep West campus and single-family PAD Coldwater Springs. The area immediately west of the Property is zoned AG accommodating a mix of vacant land, large-lot rural residences, and outdoor storage operations. See *Figure 3: Existing and Proposed Zoning Map*.

TABLE 1: SURROUNDING ZONING

	GENERAL PLAN LAND USE CATEGORY	EXISTING ZONING	EXISTING USE
North	Business Park	Planned Area Development (PAD)	Fairway Commerce Center
East	Business Park	Community Commercial (C-2)	River Crossing Self Storage
South	Education / High Density Residential	Planned Area Development (PAD)	Highland Prep West & Coldwater Springs Apartments
West	Business Park	Agriculture (AG)	Large Lot Residential

The properties to the north, east, and west of the site are designated Business Park on the City of Avondale's General Plan 2030 Land Use map. South of Van Buren, the site borders Education and High Density Residential land uses. See *Figure 4: Existing and Proposed General Plan Land Use Map*.

### 3. DEVELOPMENT PROPOSAL

Amid the diverse intensity of surrounding land uses, Cerro Vista Condos is designed to serve as a bridging element to soften the transition between the lower-intensity land uses like schools and single-family homes, and higher-intensity commercial and industrial uses. Cerro Vista Condos' intent is to provide an intimate gated-community that still respects the privacy many seek in a detached housing product. The community will be enclosed with a decorative perimeter wall and secured with resident-only gated entryways. The main entry will be landscaped and feature a monument sign that captures the character of the overall development. Residences will be oriented towards the internal streets or with residences facing each other, threaded together through interconnected pathways.

The applicant is proposing a 99-unit development of for-sale detached single-story homes. The Project will feature the 'Lennar Dream Series', a first-in-market housing product bringing attainable housing to the West Valley while maintaining a high-quality community design standard and a diverse selection of product types and sizes. The Cerro Vista Condos will provide an opportunity to create higher density housing that will provide further residents and synergy needed to bring the future retail and mixed-use to The BLVD area.

### 4. CONFORMANCE WITH AVONDALE PLANS

The Property is designated as High Density Residential on the City's General Plan Map. The property is also within the Freeway Corridor Specific Plan.

#### **Minor General Plan Amendment Review and Analysis**

##### *1. Availability of current and future water supplies*

The Cerro Vista site is not currently served by any existing water or wastewater services. The site is located within the limits of City of Avondale, and the site will utilize municipal City of Avondale potable water and wastewater service. Adequate water and wastewater lines are available immediately adjacent to the site for connection. Impact fees will be required to serve the property.

Water demand calculations have prepared below based on factors provided in the 2018 Integrated Utility Master Plan and the following site-specific assumptions:

- 11.5 gross acre site
- 99 dwelling units
- 8.6 DU/Acre
- 4.6 ac of open space
- One central clubhouse area

The target density for Medium/High Density residential was revised upward from four (4) to eight (8) DU/acre as part of the City's 2022 General Plan Amendment cycle. The latest IUMP was published in 2018, prior to this change in target density. Therefore, the Medium/High Density residential water demand factors are substantially lower than they need to be to reflect the new density target. The project is proposing a density near the revised Medium/High Density target of eight (8) DU/Acre, therefore the proposed water demand is larger than the calculated demand using the standard IUMP factor. The project also proposes shared common area and landscaping that is more in line with a multi-family project. This heightened level of amenitization also contributes to increased water usage.

While the proposed water usage is slightly higher as compared to the standard Medium/High Residential designation, it is a substantial actual decrease (approximate 44% decrease) as compared to the current High Density Residential entitlement under the IUMP.

Refer to Table 1 for the current Allowable Water Use demand based on the current General Plan designation. Refer to Table 2 for the standard Allowable Water Use demand based on 2018 IUMP factors for the proposed General Plan designation. Refer to Table 3 for the proposed Allowable Water Use demand based on the proposed site plan and actual unit count/density.

TABLE 2: CURRENT ALLOWABLE WATER USE DEMAND (AWU)			
LAND USE	AVERAGE DAILY DEMAND (GPAD)	AVERAGE DAILY FLOW (GPD)	PEAK FIRE FLOW DEMAND (GPM)
High Density Residential (11.5 acres)	7,220	83,030	1,000

TABLE 3: NEW GPA ALLOWABLE WATER USE DEMAND (AWU)*			
LAND USE	AVERAGE DAILY DEMAND (GPAD)	AVERAGE DAILY FLOW (GPD)	PEAK FIRE FLOW DEMAND (GPM)
Medium/High Density Residential (11.5 acres) [assumes out of date density target of 4 DU/Ac]	1,444	16,606 [standard water usage for 4 DU/Acre]	1,000

TABLE 4: PROPOSED ALLOWABLE WATER USE DEMAND (AWU)**				
LAND USE	AVERAGE DAILY DEMAND (GPAD)	CLUBHOUSE/ OPEN SPACE DEMAND (GPAD)	AVERAGE DAILY FLOW (GPD)	PEAK FIRE FLOW DEMAND (GPM)
Medium/High Density Residential (99 Units) + Clubhouse and Open Space [based on proposed site plan and density of 8.6 Du/Acre]	361	2,300	46,319	1,000

The proposed water system will connect to existing public mains with sufficient capacity located in W. Van Buren St. and W Corporate Dr.

*2. Impact on and potential support of the City's transportation system*

Primary access to the site will be from Van Buren Street. This request reduces the previously approved density from 23.94 DU/acre to approximately 9.8 DU/acre. This density reduction will result in a significant reduction of traffic volume by changing the Land Use designation from High Density to Medium High Density Residential. Additionally, the applicant will meet the intent of current City engineering policies and standards, and work to provide solutions that will mitigate impact on the City's transportation networks.

3. *Impact on the natural environment, including, but not limited to, hillsides, riparian areas, and floodways.*

The Project is not located within any hillside, riparian or floodway areas, and will not significantly impact the surrounding natural environment.

4. *Extent to which the proposal contributes to achieving the (i) job to population ratio, (ii) square foot per capita ratio, and (iii) multi-family housing ratio identified within this GP2030;*

The proposed General Plan Amendment will not have an overall negative impact on the current job-to-population ratio of 0.28 since it is reducing the residential density and is not taking away any employment related uses. This proposal will provide employees to the surrounding area and housing to the area employees. The type of residential use being proposed on this property aligns with the City's goals and strategies. The proposed medium/high density residential land use is aimed at increasing the variety of housing types available within the City. This Amendment is not anticipated to have negative impacts upon the residential base.

5. *Impact on City services and facilities including, but not limited to, police, fire, water, and wastewater;*

The proposed project will be developed at a less intense density than what it is currently entitled for, putting less pressure on city services. Any necessary infrastructure improvements will be identified during the platting and site plan and design review application phase and will be improved by the developer, as required.

6. *Extent to which the goals of this GP2030 are accomplished.*

The proposed development furthers several goals and policies of the General Plan 2030, as further detailed below.

#### Land Use Element

***Goal 1: Establish an Avondale identity based on a healthy lifestyle that promotes land uses which foster an economically sustainable and socially dynamic community.***

*Policy D: Enhance the attractiveness of infill parcels as an option for new development throughout Avondale.*

***Goal 3: Promote a strong balance of high quality residential, employment, recreation, and educational land uses.***

*Policy D: Ensure adequate transitions and/or buffers are provided when adjacent land uses vary in character and intensity.*

***Goal 4: Ensure all land use decisions meet the long-term social and economic goals of the community.***

*Policy B: Require all new development to participate in the required infrastructure enhancements including, but not limited to, street widening and connecting to City water and sewer systems.*

The Cerro Vista Condos provides an alternative housing choice to the typical single-family residential that is predominant in Avondale. This proposal provides a medium to high density, single-story, detached, for-sale housing option that would fit the context of the surrounding area more acutely than the previously approved high density two to three story multi-family development. The decreased height and density reduce the impacts upon the surrounding single-family residential while still providing a residential land-use type that assists with curating a blended transition in the intensity of the surrounding land uses. The Cerro Vista Condos are appropriately located in an area transitioning from single-family residential to employment uses, with multiple schools in the direct vicinity. Additionally, the development of this project will contribute to substantial roadway improvements for both Van Buren Street and Corporate Drive.

## Economic Element

### **Goal 8: Invest in neighborhood infrastructure, public spaces, and amenities.**

*Policy B: Assess and implement methods requiring new residential developments to incorporate specific amenities and designate a specific amount of space for common use by neighborhoods.*

The Cerro Vista Condos are providing over 3-acres of common open space in addition to the private amenity, which may include features such as a tot lot, active turf area, ramada and BBQs.

## Housing Element

### **Goal 1: Provide a variety of safe housing opportunities and neighborhoods for all current and prospective Avondale residents.**

*Policy A: Ensure developers and/or HOAs properly maintain perimeter areas, open spaces, and other common areas within subdivisions.*

### **Goal 2: Champion the development of housing types not currently available in the City to allow for a variety of socio-economic levels.**

*Policy B: Encourage the development of condominiums and townhomes which appeal to people seeking to own their residence, but who may not want maintenance responsibilities.*

### **Goal 4: Require excellence and innovation in residential design and construction.**

*Policy C. Utilize the City's Design Manuals to promote quality development and attractive residential communities, updating these documents when necessary to reflect changing preferences and styles.*

*Policy D. Encourage subdivision design that promotes non-vehicular access to trails and transit routes/centers as a component of a healthy lifestyle.*

*Policy E. Endorse the use of Crime Prevention through Environmental design (CPTED) principles when designing residential communities.*

Cerro Vista Condos aims to provide attainable housing in the West Valley while upholding a high standard of community design. The development adheres to the City's Design Manuals, resulting in a neighborhood with abundant pedestrian connections, active open spaces, and accessible amenities for all residents. Residential units are oriented in one of two ways: facing each other to create internal courtyard-style open spaces, or facing the internal streets. This layout was chosen to ensure visibility and engagement within the community, enhancing overall safety through natural surveillance.

The applicant is proposing the development of a unique, attainable, for-sale product type within a private community. All outdoor amenities and landscaping will be maintained by a professional management company.

## Recreational Amenities Element

### **Goal 1: Ensure every person has convenient access to safe public parks and affordable recreation opportunities.**

*Policy A: Continue to ensure that private development provides local, accessible neighborhood parks and tot lots under the management of a Home Owners Association.*

Cerro Vista Condos will meet this goal by providing high quality open space areas throughout the community with a centrally located pedestrian access connecting many of these spaces. The concentration and location of these amenities ensures full access to all residents.

## The Avondale Freeway Corridor Specific Plan

The Avondale Freeway Corridor Specific Plan covers the majority of land within a ½ mile each way of the freeway located within the Avondale city limits. The major focus of the visibility of the freeway with the City and steering uses that enhance that visibility and encouraging employment, commercial, and mixed uses. The Plan also focus on compatible residential districts that will support these uses.

### Minor General Plan Amendment Findings Analysis

This request for a Minor General Plan Amendment meets or exceeds the required findings established by the City of Avondale, as detailed below.

1. The development pattern contained on the Land Use Plan inadequately provides the appropriate optional sites for the use and/or change proposed in the amendment.

**RESPONSE:** The General Plan notes that only 2.01% of the property within the City is designated for the Medium High Density Residential land uses. This does not provide for sufficient opportunity within the City to find an appropriate alternative site for the Cerro Vista Condos development.

2. The amendment constitutes an overall improvement to the GP2030 and is not solely for the good or benefit of a particular landowner or owners

**RESPONSE:** Market conditions and evolving visions for the Freeway Corridor areas have shown that the Urban Residential use is not conducive for current development on the Property. The proposed minor general plan amendment will lower the density to something more marketable and the Cerro Vista standards will still promote a development that maintains an urban character that is appropriate for the Van Buren corridor and the nearby The BLVD area.

3. The amendment will not adversely impact the community as a whole and/or a portion of the community by:
  - a. Significantly altering the acceptable land use patterns;
  - b. Requiring larger and more expensive public infrastructure improvements including, but not limited to, roads, water, wastewater, and public safety facilities than would otherwise be needed without the proposed change; or
  - c. Adversely impacting the existing land uses.

**RESPONSE:** The requested housing density, medium-high density, on this site will continue to be compatible with the surrounding existing developments and continue to integrate with the envisioned future uses. Additionally, the proposal puts less of a burden on the existing public infrastructure systems than the existing entitlement.

4. That the amendment is consistent with the overall intent of the GP2030 and other adopted plans, code and ordinances

**RESPONSE:** As demonstrated in the “Minor General Plan Amendment Review and Analysis”, this proposed General Plan Amendment is consistent with the overall into of all Avondale plans, codes, and ordinances.

- Greater connectivity with the centrally located amenity areas and all housing units being easily accessible to all residents throughout the development with connective pathways.
- Focusing all housing units on communal open spaces or internal streets that are focused on providing an enhanced pedestrian and community experience.
- Enhanced vegetation at entries ways and strategically placed open space areas to provide a sense of arrival to the development.
- A unique housing product that focuses more on providing a holistic urban experience.

## 5. CONCLUSION

Cerro Vista Condos' location adjacent to existing employment areas, the active Van Buren Street corridor, and Avondale's The BLVD area to the east, provides an opportunity to provide for a unique, attainable, for-sale product type that still will be in harmony with the surrounding area.

The concurrent rezoning and General Plan Amendment requests are consistent with many of the policies of the City of Avondale's General Plan 2030 and the Freeway Corridor Specific Plan. Cerro Vista Condos intends to develop a vacant site that will provide a high-quality attainable housing option in the West Valley that is compatible with the urban character of the Avondale urban core.

FIGURE 1: VICINITY MAP

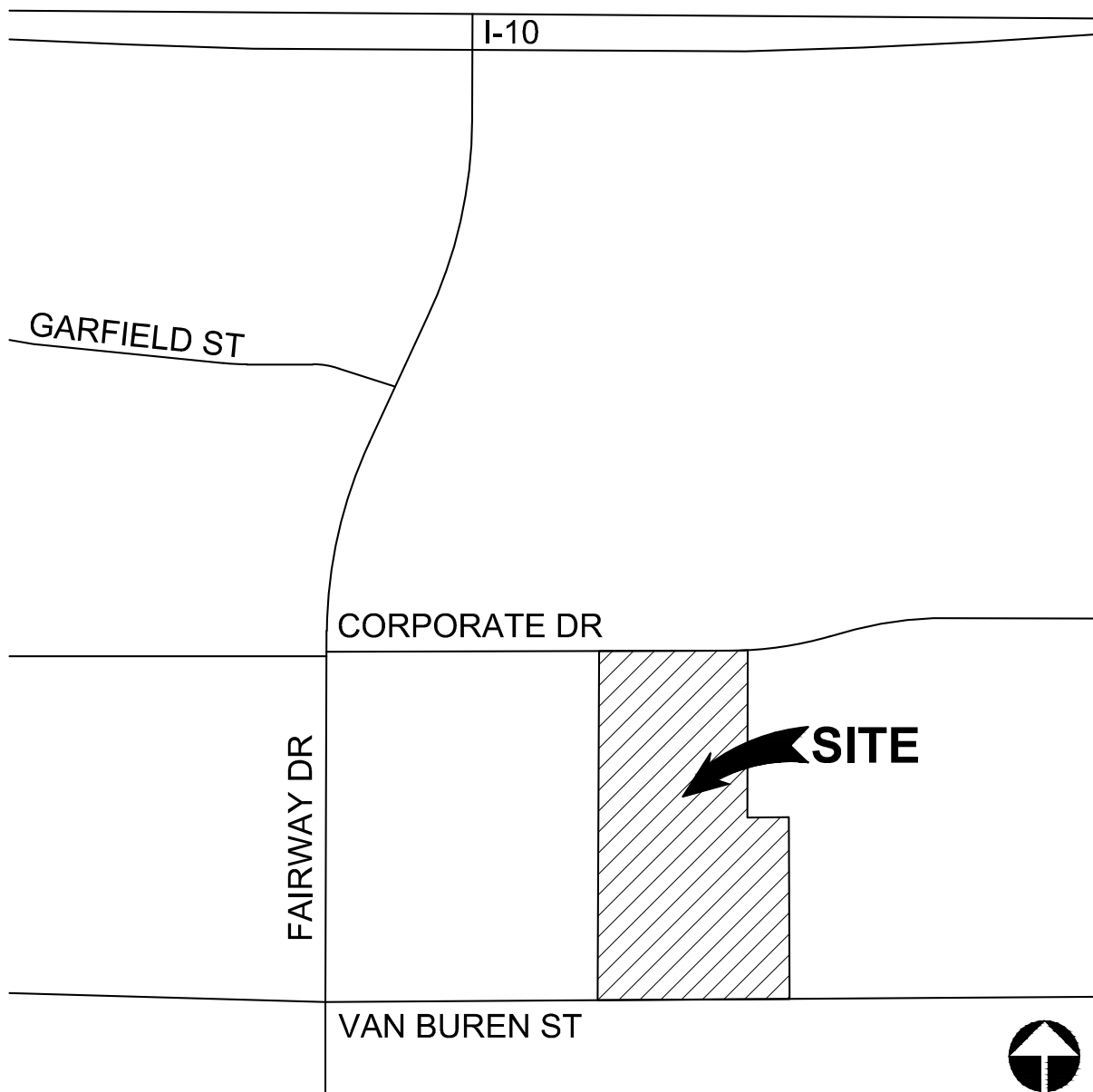
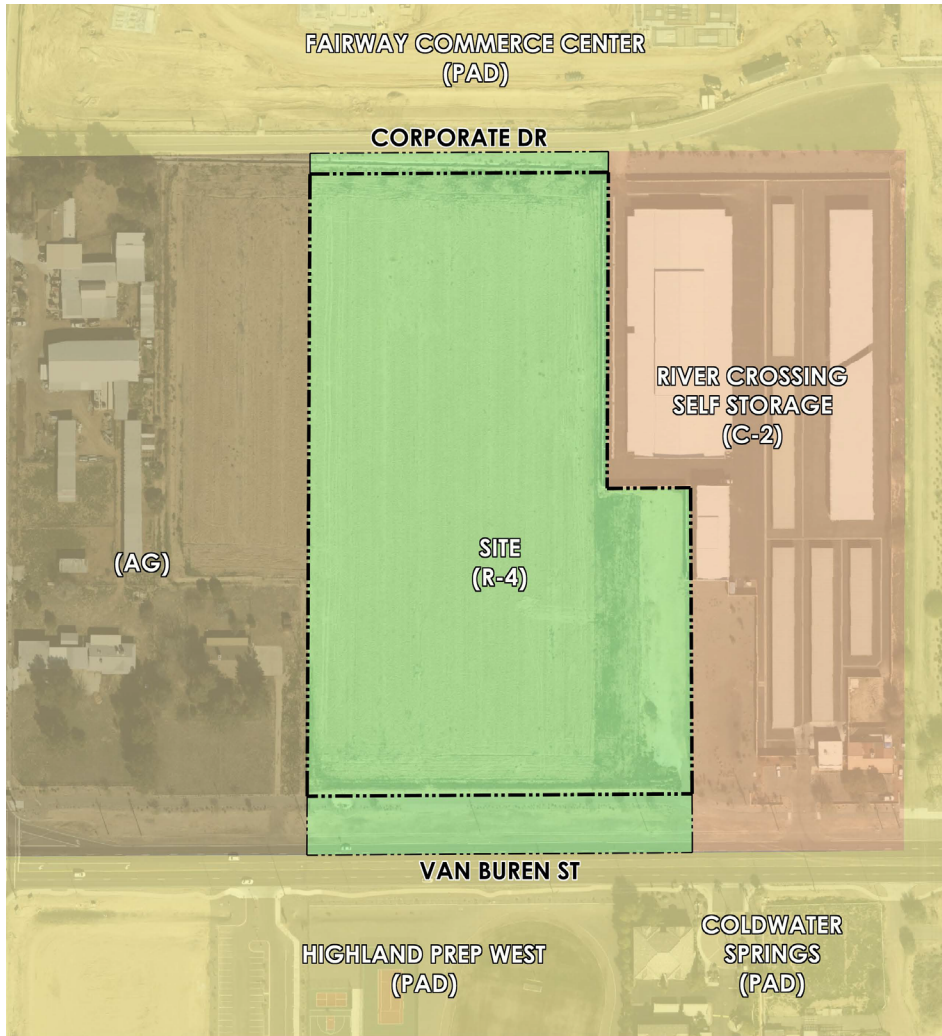


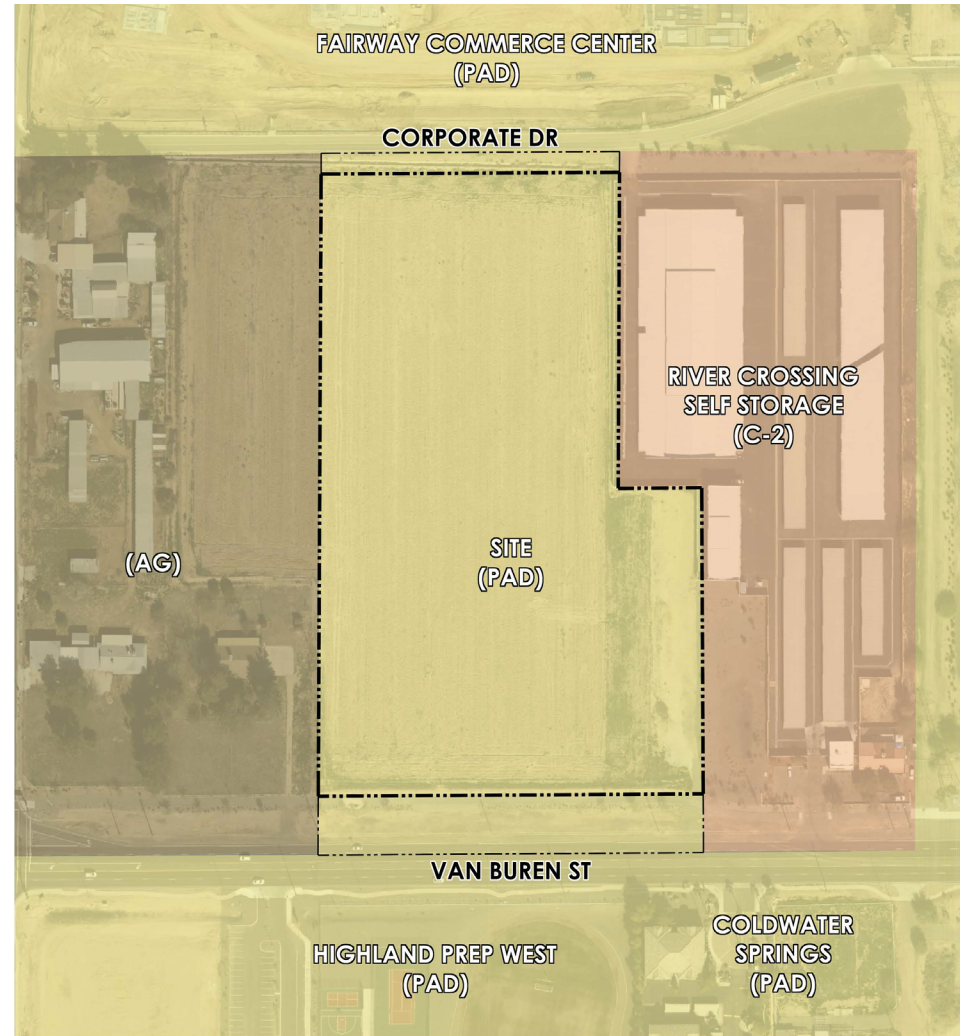
FIGURE 2: REGIONAL CONTEXT MAP



# FIGURE 3: EXISTING & PROPOSED ZONING MAP



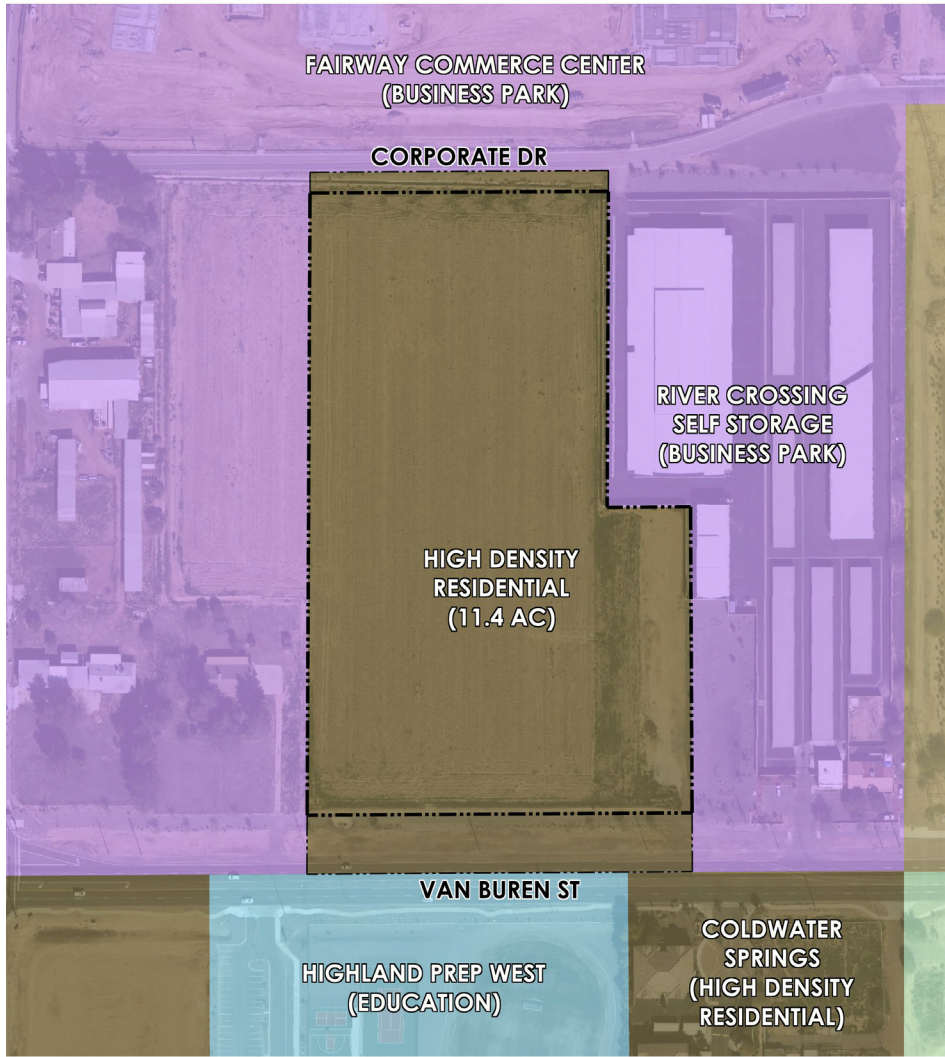
EXISTING ZONING



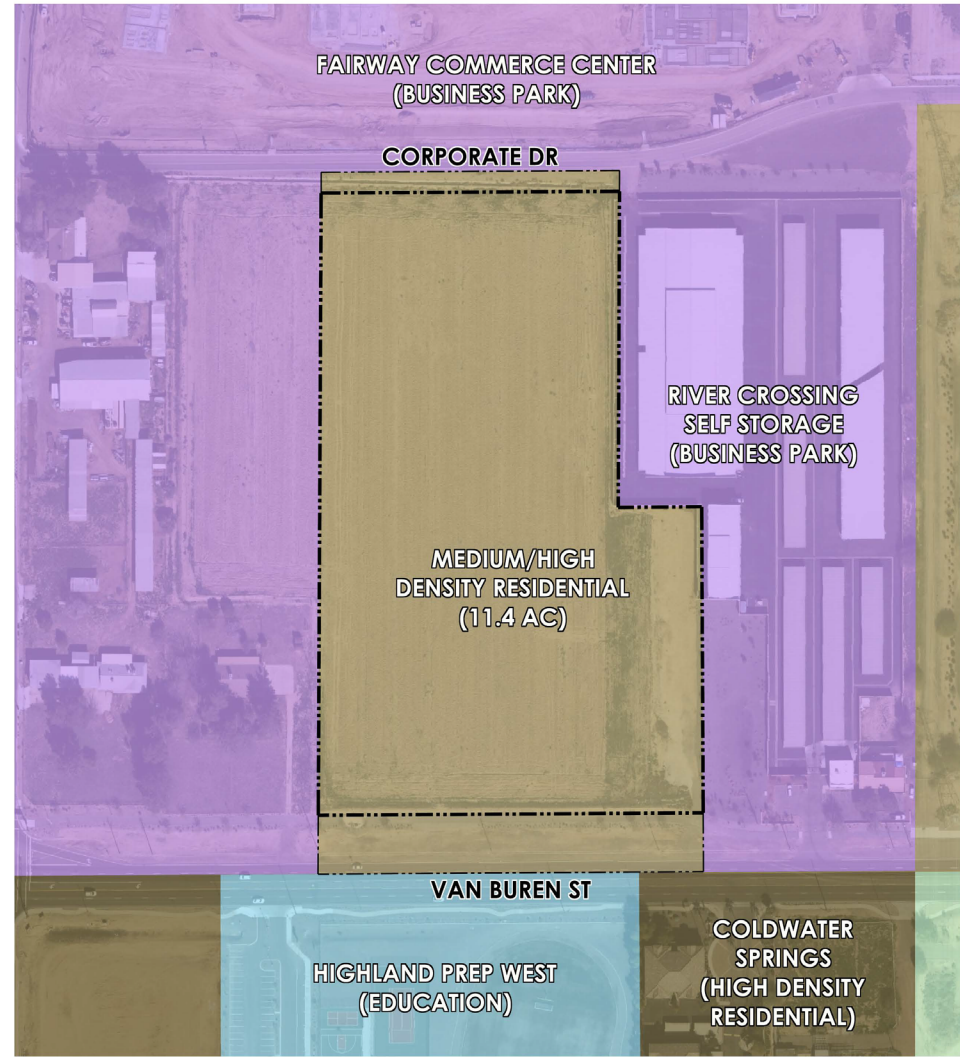
PROPOSED ZONING



# FIGURE 4: EXISTING & PROPOSED GENERAL PLAN LAND USE MAP



EXISTING GENERAL PLAN LAND-USE



PROPOSED GENERAL PLAN LAND-USE



## **Summary of Neighborhood Meeting for Cerro Vista Condos**

Case Numbers: PL-25-0217 & PL-25-0218

February 11, 2026 at 6:00 PM

A neighborhood meeting for a general plan amendment application and a rezone application for approximately 10.1 net acres of land located at 12104 West Van Buren Street, Avondale, AZ 85323, was held on Wednesday, February 11 at 6:00 PM. The applications propose a general plan amendment of the site to Medium/High Density Residential and a rezone to PAD with the comparable zoning district of Multi-Family Residential R-3 to allow for the development of 99 detached, single-family units. The site was posted with the meeting information, a legal advertisement was published in the Southwest Valley Arizona Republic newspaper, and notifications were mailed to property owners and HOAs within 1,000 feet of the project.

The meeting was held at Avondale City Hall located at 11465 W. Civic Center Dr., Avondale, Arizona 85323 in the Sonoran Conference Room. No members of the public were in attendance. Two City staff/elected officials were in attendance. A redacted copy of the sign-in sheet is included as **Exhibit A** in this report.

### **Members of the development team present:**

- Carolyn Oberholtzer – BFSO Law
- Connor Peagler – BFSO Law
- Lauren Trobaugh – BFSO Law
- Riley Baehr – LENNAR
- Jessica Miller – RVi Planning

### **City officials and staff present:**

- Cole Hunger – Senior Planner
- Curtis Nielson – Avondale Vice-Mayor

Ms. Oberholtzer opened the meeting at 6:00 PM. Vice Mayor Nielson arrived at approximately 6:03. Vice-Mayor Nielson asked Ms. Oberholtzer a few questions on the new zoning for the site, as well as the ownership structure. Ms. Oberholtzer explained that the PAD would permit condo ownership, not a rental system. They further discussed unit sizes, the development's amenities, the condo owner's association structure, and other related

topics. Mr. Baehr joined the conversation to explain the proposed development's floor plan. Vice-Mayor Nielson asked about insulation, and Mr. Baehr explained that all Avondale building code requirements would be met. Ms. Oberholtzer closed the meeting at 7:00 PM.

# Neighborhood Meeting Sign-In Sheet

Cerro Vista  
Case No. PL-25-0217, PAD Rezone PL-25-0218  
Neighborhood Meeting – February 11, 2026  
City of Avondale  
Avondale City Hall – Sonoran Conference Room  
11465 W. Civic Center Drive  
Avondale, AZ 85323

Name	Address	City & Zip Code	Phone/E-Mail
Curtis Nelson	[REDACTED]	[REDACTED]	[REDACTED]

**RESOLUTION NO. 1026-0426**

A RESOLUTION OF THE COUNCIL OF THE CITY OF AVONDALE, ARIZONA, AMENDING THE CITY OF AVONDALE GENERAL PLAN REGARDING THE LAND-USE DESIGNATION OF APPROXIMATELY  $\pm$  11.52 GROSS ACRES LOCATED AT 12104 WEST VAN BUREN STREET, AVONDALE, ARIZONA, AS SHOWN IN APPLICATION PL-25-0217 FROM HIGH DENSITY RESIDENTIAL TO MEDIUM/HIGH DENSITY RESIDENTIAL.

**WHEREAS**, the City of Avondale General Plan (the “General Plan”) was adopted by the Mayor and Council of the City of Avondale (the “City Council”) on April 2, 2012, and ratified by the qualified electors of the City of Avondale on August 28, 2012; and

**WHEREAS**, the General Plan was readopted by the City Council on May 2, 2022, and ratified by the qualified electors of the City of Avondale on August 2, 2022; and

**WHEREAS**, the City Council desires to amend the General Plan to change the land-use designation for approximately  $\pm$  11.52 gross acres located at 12104 West Van Buren Street, Avondale, Arizona, from High Density Residential to Medium/High Density Residential, as shown in Application PL-25-0217 (the “General Plan Amendment”); and

**WHEREAS**, pursuant to ARIZ. REV. STAT. § 9-461.06 and the General Plan, the City of Avondale (the “City”) has consulted with, advised, and provided the opportunity for public comment on the General Plan Amendment; and

**WHEREAS**, all due and proper notices of the public hearings on the General Plan Amendment held before the City of Avondale Planning Commission (the “Commission”) and the City Council were given in the time, form and substance required by ARIZ. REV. STAT. § 9-461.06; and

**WHEREAS**, pursuant to ARIZ. REV. STAT. § 9-461.06 and the General Plan, the Commission held a public hearing on the proposed General Plan Amendment on March 18, 2026, after which the Commission recommended approval; and

**WHEREAS**, pursuant to ARIZ. REV. STAT. § 9-461.06 and the General Plan, the City Council held a public hearing on the proposed General Plan Amendment on April 20, 2026.

**NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF AVONDALE**, as follows:

SECTION 1. The recitals above are hereby incorporated as if fully set forth herein.

SECTION 2. The General Plan is hereby amended to change the land-use designation for approximately ± 11.52 gross acres located at 12104 West Van Buren Street, Avondale, Arizona, as shown in Application PL-25-0217, as depicted on Exhibit A, attached hereto and incorporated herein by reference, from High Density Residential to Medium/High Density Residential.

SECTION 3. The Mayor, the City Manager, the City Clerk and the City Attorney are hereby authorized and directed to take all steps necessary to carry out the purpose and intent of this Resolution.

**PASSED AND ADOPTED** by the Council of the City of Avondale, Arizona, April 20, 2026.

---

Mike Pineda, Mayor

ATTEST:

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Marcella Sarmiento, City Clerk

APPROVED AS TO FORM:

---

Nicholle Harris, City Attorney

EXHIBIT A  
TO  
RESOLUTION NO. 1026-0426

[General Plan Amendment Maps]

See following page.

**EXHIBIT "B"**  
**MINOR GENERAL PLAN AMENDMENT BOUNDARY**

A PORTION OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 1 TOWNSHIP 1 NORTH, RANGE 1 WEST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**COMMENCING** AT THE SOUTH QUARTER CORNER OF SAID SECTION 1, BEING MARKED BY A BRASS CAP IN HANDHOLE, FROM WHICH THE SOUTHWEST QUARTER OF SAID SECTION 1, BEING MARKED BY A BRASS CAP IN HANDHOLE, BEARS SOUTH 89 DEGREES 38 MINUTES 06 SECONDS WEST, 2653.77 FEET;

THENCE SOUTH 89 DEGREES 38 MINUTES 06 SECONDS WEST, ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER, 1632.40 FEET TO THE **POINT OF BEGINNING**;

THENCE CONTINUING ALONG SAID SOUTH LINE, SOUTH 89 DEGREES 38 MINUTES 06 SECONDS WEST, 556.96 FEET;

THENCE DEPARTING SAID SOUTH LINE, NORTH 00 DEGREES 15 MINUTES 41 SECONDS EAST, 1013.26 FEET;

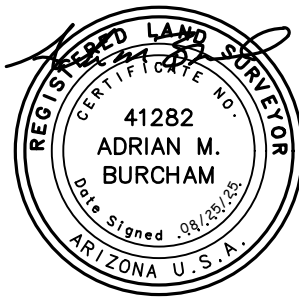
THENCE NORTH 89 DEGREES 39 MINUTES 42 SECONDS EAST, 431.09 FEET;

THENCE SOUTH 00 DEGREES 13 MINUTES 49 SECONDS WEST, 486.40 FEET;

THENCE NORTH 89 DEGREES 35 MINUTES 20 SECONDS EAST, 120.59 FEET;

THENCE SOUTH 00 DEGREES 17 MINUTES 05 SECONDS EAST, 526.72 FEET TO SAID **POINT OF BEGINNING**;

SAID PARCEL CONTAINS 501,770 SQUARE FEET, OR 11.5190 ACRES MORE OR LESS.





**HUBBARD**  
**ENGINEERING**

www.hubbardengineering.com

1201 S. Alma School Rd.  
Suite 12000  
Mesa, AZ 85210  
Ph: 480.892.3313

FAIRWAY DRIVE INDUSTRIAL PARTNERS LLLP

BK. 1692, PG. 5, M.C.R.

APN: 500-01-605

**CORPORATE DRIVE**

$N89^{\circ}39'42''E$  431.09'



DIXON JO ANN  
APN: 500-01-001V

$N0^{\circ}15'41''E$  1013.26'

MINOR GENERAL PLAN  
AMENDMENT BOUNDARY

$S0^{\circ}13'49''W$  486.40'

$N89^{\circ}35'20''E$   
120.59'

ES RIVER CROSSING  
STORAGE ARIZONA LLC  
BK. 1579, PG. 27, M.C.R.  
APN: 500-01-601

$S0^{\circ}17'05''E$  526.72'



464.41'

556.96'

1632.40'

SW CORNER,  
SEC. 1, T1N, R1W  
FND. BCHH

$S89^{\circ}38'06''W$  2653.77'  
S. LINE, SW 1/4, SEC. 1, T1N, R1W

**VAN BUREN STREET**

P.O.B. P.O.C.  
S. 1/4 CORNER,  
SEC. 1, T1N, R1W  
FND. BCHH

CERRO VISTA

MINOR GENERAL PLAN AMENDMENT BOUNDARY

EXHIBIT "A"

City of Avondale, Maricopa County, Arizona

Project No.  
25134

Date  
08/25/25

Project Manager  
ADRIAN BURCHAM

Project Eng.

Sht: 1 of 1

---

**ITEM NUMBER:** 6.b.

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**SUBJECT:** Public Hearing and Ordinance 2010-0426 - Cerro Vista Planned Area Development Rezoning - Application PL-25-0218

**MEETING DATE:** 4/20/2026

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**TO:** Mayor and Council

**FROM:** Jodie Novak, Director of Development Services

**THROUGH:** n/a

**REVIEWED:** Ron Corbin, City Manager, (623) 333-1011

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**STRATEGIC PLAN:**

This agenda item supports the following Avondale Strategic Outcome Area: **Economic Growth and Prosperity**

Avondale supports a thriving local economy by fostering and supporting business growth, job creation, and workforce development. The City advances economic development, attracts high-quality entertainment and full-service amenities, and promotes a variety of attainable housing opportunities that strengthen the City's vitality.

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**PURPOSE:**

City Council will hold a public hearing to consider a request to adopt Ordinance 2010-0426, approving a request by Carolyn Oberholtzer of Bergin, Frakes, Smalley and Oberholtzer to rezone an approximately 10.1 net-acre site located at 12104 W. Van Buren Street. If approved, the proposal would change the zoning from R-4 Multi-Family Residential to Cerro Vista Planned Area Development (PAD) with underlying R-3 Multi-Family Residential to facilitate the development of a 99-unit single-story, condo-platted residential project with detached single-family homes and authorize the Mayor or City Manager, City Attorney and City Clerk to execute the necessary documents. The Council will take appropriate action.

**BACKGROUND:**

The approximately 10.1-net-acre subject property (Exhibits A and B) is located at 12104 W. Van Buren Street, Assessor's Parcel Number (APN) 500-01-001W and 500-01-001X. The property was annexed into the City on May 5, 1978. The subject property is currently zoned R-4 Multi-Family Residential and is vacant land.

The site is designated as High Density Residential at 12 to 30 dwelling units per acre (DU/AC) on the General Plan 2030 Land Use Map (Exhibit C). A minor General Plan amendment (PL-25-0217) has been filed concurrently with this rezoning request, to lower the land use designation to Medium/High Residential at 4 to 12 dwelling units per acre (DU/AC). The Medium/High Density Residential category should include a combination of single-family attached, detached, and townhomes, or condominiums, patio homes, and casita housing choices. The variety of housing choices in a specific development should be in a planned and clustered setting unique to Avondale, with substantial open space for recreational amenities to service the

residents and encourage resident interaction and outdoor activities. This category can also include workforce housing options. This level of intensity should promote a village environment with easy access to services and recreation. Churches, parks, open spaces, and public facilities are permitted in this land use category. The proposed detached single-family style units, platted as condominiums, are permitted in this land use category.

The existing uses and zoning of the surrounding properties are as follows:

**North:** Fairway Commerce Center light industrial use; zoned Fairway Commerce Park Planned Area Development (PAD) with the underlying Commerce Park (CP).

**South:** Coldwater Springs Apartments and Highland Preparatory Academy; zoned Coldwater Springs Planned Area Development (PAD).

**East:** River Crossing Self Storage; zoned Community Commercial (C-2).

**West:** Existing single-family residential dwellings; zoned Agricultural (AG).

### **SUMMARY OF REQUEST:**

The applicant, on behalf of Lennar Corporation, is requesting approval of a rezoning for approximately 10.1 net acres located approximately 500 feet east of the northeast corner of Van Buren Street and Fairway Drive (APNs 500-01-001W and 500-01-001X). The proposal would change the zoning from Multi-Family Residential (R-4) to a Cerro Vista Planned Area Development (PAD) with underlying R-3 (Multi-Family Residential) with modified development standards.

The subject property was rezoned in 2021 to R-4 to allow development of a 249-unit apartment community (Cerro Vista), which was not constructed, and the site remains vacant. The proposed PAD zoning (Exhibit D) would instead permit development of a 99-unit condominium-platted single-family style residential product, consisting of detached, single-story homes. At a density of approximately 8.6 DU/AC, the proposal represents a substantial reduction in intensity from the previously approved multi-family residential apartment entitlement. The proposed housing product is described as an ownership-oriented development intended to provide attainable, entry-level homes. Units will consist of two (2)- and three (3)-bedroom floor plans, each including a minimum 300-square-foot fenced private rear yard as compared with the minimum requirement of eighty (80) square feet of private outdoor space. The development will include a minimum of four distinct floor plans, each offering three architectural elevations. No adjacent or directly opposing homes will be identical. Architectural detailing will include enhanced front elevations, four-sided wall plane elevation treatments with window detailing, and covered front porches. Building height is limited to 30 feet, consistent with R-3 zoning development standards.

Primary vehicular access to the site is proposed from both Van Buren Street and Corporate Drive, shown in the site plan (Exhibit E). The main project entrance will be provided from Corporate Drive, functioning as the primary point of ingress and egress for residents and visitors, while a secondary access point will connect to Van Buren Street to provide additional circulation and emergency access. Internal circulation is organized through a series of private drives and shared parking courts that distribute parking throughout the development while minimizing large surface parking fields. In lieu of garages, covered parking is provided.

Open space and amenity areas are distributed throughout the development to provide both centralized and neighborhood-scale gathering spaces. The project includes a primary amenity area described by the applicant as a "Central Community Hub," which is intended to serve as the focal point of the community and will include features such as shade structures, seating areas, built-in grills, a pizza oven, picnic tables, turf areas, and fire pit gathering spaces. Additional smaller amenity nodes are planned throughout the site and may include elements such as shaded seating areas, dog-friendly spaces, community library features, landscaped green areas, and bicycle-related amenities.

### **CERTIFICATE OF ADEQUATE SCHOOL FACILITIES:**

The property is located in the service areas of the Littleton Elementary School District #65 (Collier Elementary School) and the Tolleson Union High School District (La Joya Community High School). Tolleson Union High School District (La Joya Community High School) has provided the City with signed certificates stating that this district has adequate school facilities to accommodate the estimated enrollment of new students to be generated by the proposed Cerro Vista development (Exhibit H). Littleton Elementary School District #65 (Collier Elementary School) has provided signed certificates stating that this school district does not have

adequate facilities to accommodate the estimated enrollment of new students to be generated by the development (Exhibit G). Both the applicant and the school district have indicated they will maintain ongoing coordination during the development process.

#### **PUBLIC PARTICIPATION:**

A neighborhood meeting to discuss the proposal with neighboring property owners and other interested parties was held on February 11, 2026. An overview of the discussion topics is outlined in the Neighborhood Meeting Summary, attached as Exhibit F. In addition to City staff and the applicant's team, there was one (1) City Council member at the in-person neighborhood meeting. The attendee raised general questions about unit ownership, unit pricing, the size of each unit floor plan, responsibility of landscape maintenance, and if there will be a Condo-Owners Association, all of which were addressed by the applicant.

All required notifications for the Planning Commission and City Council public hearings have been completed. To date, no comments have been received on the City's Avondale Connect digital platform.

#### **PLANNING COMMISSION ACTION:**

On March 18, 2026, the Planning Commission held a public hearing regarding the minor General Plan amendment (PL-25-0217) and PAD Rezone (PL-25-0218) requests.

There were no comments from the public.

The Planning Commission raised a question about traffic congestion along Corporate Drive. Staff indicated that a future traffic signal is planned at the intersection of Corporate Drive and Fairway Drive, and that Traffic Engineering identified no concerns due to the project's reduced density. The Planning Commission further asked about traffic impacts near the high school located to the west of the project. The applicant explained that a full traffic impact analysis was completed as part of the review, and that the project will include targeted roadway enhancements, such as a left-turn lane and deceleration lane, on Corporate Drive. After discussion, the Planning Commission passed a motion (5-0 vote) to recommend approval of the PAD rezoning to the City Council.

#### **ANALYSIS:**

Article 6, Section 28-113 of the Zoning Ordinance establishes five (5) findings that must be met to grant PAD zoning. Listed below are the five criteria and an analysis of each:

##### **1. The proposed PAD is in conformance with the General Plan and applicable specific plan(s).**

The applicant has submitted a concurrent Minor General Plan Amendment to change the land use designation of the property from High Density Residential (12–30 DU/AC) to Medium/High Density Residential (4-12 DU/AC). The proposed development includes 99 dwelling units on approximately 10.1 net acres, which is consistent with the Medium/High Density Residential target density of 8 DU/AC.

The project advances policies of the City's General Plan 2030 that encourage a diversity of housing types, including attainable and workforce housing, and support development of housing options not currently available in large quantities within the City. The proposed detached, single-story condominium product provides an ownership-oriented housing type that differs from traditional apartment or conventional single-family subdivisions.

The PAD furthers several goals of the General Plan, most notably:

- Housing Element Goal #2, "Champion the development of housing types not currently available in the City to allow for a variety of socio-economic levels."
- Housing Element Goal #3, "Maximize the efficiency and effectiveness of affordable housing and neighborhood stabilization programs."

The property is also located within the boundaries of the Avondale Freeway Corridor Specific Plan and in proximity to The BLVD Specific Plan area. The proposal supports the Freeway Corridor vision by placing residential ownership housing near established employment uses and utilizing existing arterial and collector

infrastructure. The project further complements The BLVD area by providing for-sale housing within walking and biking distance of civic, recreational, and commercial amenities, and by incorporating connectivity to the Van Buren multi-use path.

Subject to approval of the minor General Plan amendment, the proposed PAD is consistent with and advances the goals and objectives of the General Plan.

**2. The proposed PAD meets the PAD requirements of the Zoning Ordinance, Subdivision Regulations, Design Manuals and other applicable regulations and requirements, unless otherwise modified by the PAD Narrative.**

The PAD establishes development standards generally aligned with the R-3 (Multi-Family Residential) zoning district, while tailoring certain dimensional and design requirements to accommodate the detached condominium format. The PAD maintains compliance with maximum building height (30 feet), building coverage (45 percent), building separation standards, and density limitations. Notably, the PAD restricts the maximum units allowed by increasing net site area per dwelling unit from one unit per 3,630 square feet to one unit per 4,450 square feet.

The applicant requests specific deviations from the Zoning Ordinance and Multi-Family Residential Design Manual (specific to site design standards), including modifications to front and rear setbacks, lot width and lot depth standards (not applicable under a condominium plat), open space percentage, landscaping tree quantity, Corporate Drive landscape setback, clubhouse and pool requirements, garage requirements, EV-capable parking standards, and certain architectural provisions of the Single-Family Residential Design Manual (specific to the housing product design), as listed below:

- Decrease front yard setback from twenty-five (25) feet to fifteen (15) feet.
- Decrease rear yard setback from fifteen (15) feet to eight (8) feet.
- Reduce the maximum units allowed from 1 dwelling unit per 3,630 square feet to 1 dwelling unit per 4,450 square feet of net site area.
- Reduce the minimum common usable open space from twenty (20) percent to fifteen (15) percent.
- Substitute the required clubhouse and community pool with a central community hub.
- Reduce tree quantities from a minimum of 1.5 trees per dwelling unit to 0.75 trees per dwelling unit.
- Reduce the landscape setback on Corporate Drive from a minimum of fifteen (15) feet to eight (8) feet.
- Substitute the garage required for a minimum of twenty-five (25) percent of parking with three parking spaces per unit with at least one covered assigned space.
- Install nine (9) EV-capable parking spaces in a concentrated location rather than distributed.

The PAD narrative provides written justifications for each requested deviation, citing product feasibility, provision of private rear yards, enhanced usable open space, pedestrian-oriented design, affordability considerations, and site-specific infrastructure improvements, and will be further detailed in future site plan and design review submittal. Therefore, the proposed PAD satisfies applicable ordinance and design requirements as modified through the PAD document.

**3. That adequate public infrastructure and services exist to serve the proposed development or all necessary public infrastructure and services to serve the proposed development will be completed in connection with development within the PAD.**

The site fronts Van Buren Street (major arterial) and Corporate Drive (minor collector), both of which have existing right-of-way and infrastructure. The project will construct required half-street improvements along Van Buren Street and provide a deceleration lane and associated improvements along Corporate Drive.

Water and wastewater infrastructure is available adjacent to the site, and the development will connect to existing public mains. On-site drainage will be designed to retain the 100-year, 2-hour storm event in accordance with City of Avondale General Engineering Requirements. Solid waste will be privately serviced through central dumpster facilities.

Based on the applicant's submittal and subject to standard engineering review and conditions of approval,

adequate infrastructure and services exist or will be provided concurrent with development.

**4. The proposed PAD will result in compatible land use relationships within the proposed development and with adjacent properties.**

The property is surrounded by a mix of business park, commercial, educational, and residential uses. To the north is the Fairway Commerce Center (PAD), to the east is commercial self-storage and residential PAD development, to the south are educational and multi-family residential apartment uses, and to the west are agricultural and large-lot residential properties.

The proposed 99-unit detached, single-story residential development, via a condominium plat, represents a reduction in overall density and traffic generation compared to the previously entitled 249-unit apartment project. Building heights are limited to 30 feet, and the product consists of single-story detached homes, which provide a compatible transition between higher-intensity uses and adjacent properties. Landscaping, internal open space, and perimeter setbacks provide buffering. The development incorporates pedestrian connectivity and orientation toward common open spaces.

Given the reduction in density and traffic, the detached residential format, and the proposed buffering and design elements, the PAD results in compatible land use relationships both internally and with surrounding properties.

**5. The development standards of the proposed PAD are consistent with or exceed the desired character of development for the area.**

The development introduces a detached, single-story, single-family housing style with enhanced architectural variation, including a minimum of four floor plans with three elevations each, multiple roof styles and materials, at least eight color schemes per plan, and four roof colors. No adjacent or directly opposing homes will be identical, promoting visual diversity. Covered front porches, four-sided architectural treatment, and orientation toward shared open spaces reinforce neighborhood character.

Although deviations are requested from certain dimensional, landscaping, garage, and amenity standards, the PAD provides enhanced private rear yards (minimum 300 square feet per unit), approximately 29 percent combined common and private usable open space, a Central Community Hub amenity area with multiple programmed elements, dispersed neighborhood amenity nodes, bicycle infrastructure, and direct access to the Van Buren multi-use path. The overall density is lower than the previously approved entitlement, and building height and coverage remain consistent with R-3 zoning development standards.

**DISCUSSION:**

Staff recommends approval of the request for the following reasons:

- The proposed Cerro Vista PAD meets the required five (5) findings for a Planned Area Development (PAD) Rezone per the Avondale Zoning Ordinance.
- The proposed Cerro Vista PAD is in conformance with the proposed General Plan Land Use designation of Medium/High Density Residential.
- The proposed Cerro Vista PAD is in conformance with the PAD requirements of the Zoning Ordinance, Subdivision Regulations, Design Manuals, and other applicable regulations and requirements, unless otherwise modified by the PAD Narrative.
- Adequate public infrastructure to support the proposed development either presently exists or will be constructed by the developer.
- The recommended conditions of approval are reasonable to ensure conformance with the provisions of the Zoning Ordinance and all other applicable City codes, ordinances, and policies.

**BUDGET IMPACT:**

No budget impacts.

**RECOMMENDATION:**

City Council will conduct a public hearing and adopt an Ordinance for Cerro Vista, Application PL-25-0218, a request to rezone the subject property from R-4 Multi-Family Residential to Cerro Vista Planned Area Development (PAD) with underlying zoning of R-3 Multi-Family Residential to facilitate the development of a 99-unit single-story, condo-platted residential project with detached single-family homes and authorize the Mayor or City Manager, City Attorney and City Clerk to execute the necessary documents, subject to the following seven (7) conditions of approval:

1. Except as modified by these conditions, development shall generally conform to the following items:
  - a. Cerro Vista PAD Narrative, date stamped on March 18, 2026
  - b. Site Plan, stamped on March 18, 2026
2. Administrative approval of the Site Plan and Design Review shall be required prior to the issuance of any building permits, in accordance with the applicable City of Avondale Multi-Family Residential Design Manual.
3. All development shall be completed in accordance with the City of Avondale General Engineering Requirements (GER) Manual and the City of Avondale Supplement to MAG Uniform Specifications and Details unless a standard deviation has been approved.
4. Commencement of horizontal construction for the project shall begin within four (4) years from the date of City Council approval, per Avondale Municipal Code Section 28-113(d) Expiration, and subject to permitted extension.
5. Prior to the issuance of any construction permits for Cerro Vista, a re-plat shall be approved and recorded to combine the individually platted lots.
6. Should the Arizona Department of Water Resources (ADWR) establish another program in the future to provide for the extinguishment of irrigation Grandfather Rights (IFGR) and conveyance of credits to municipal water providers, Avondale reserves the right to require the extinguishment of such IFGR.
7. Prior to issuance of any building permit for the project, the property owner shall submit and obtain approval and recordation of a condominium plat with public water and sewer systems provided to the private property.

*Contact person for document distribution: Cole Hunger, Senior Planner*

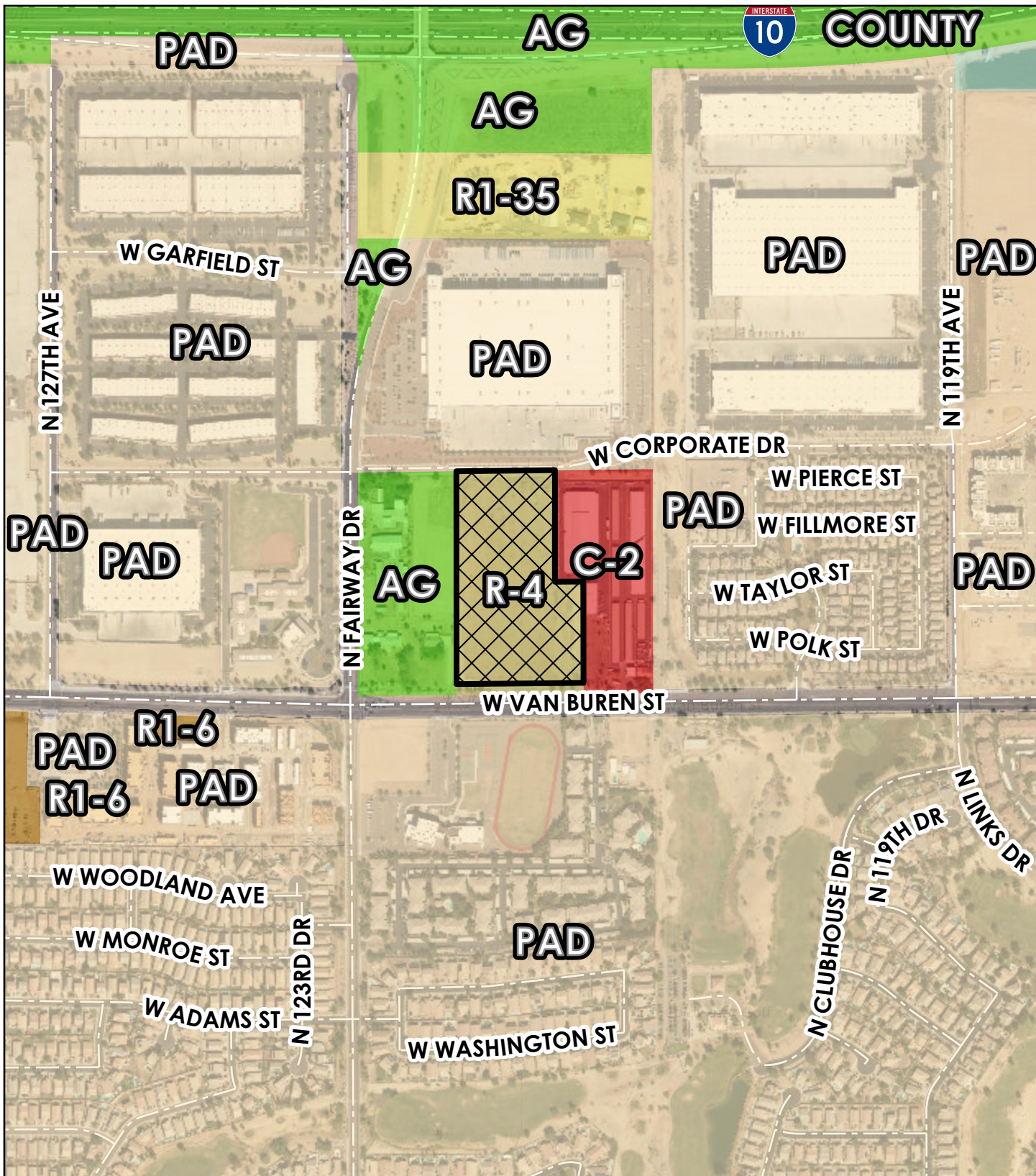


Aerial Map



Subject Property



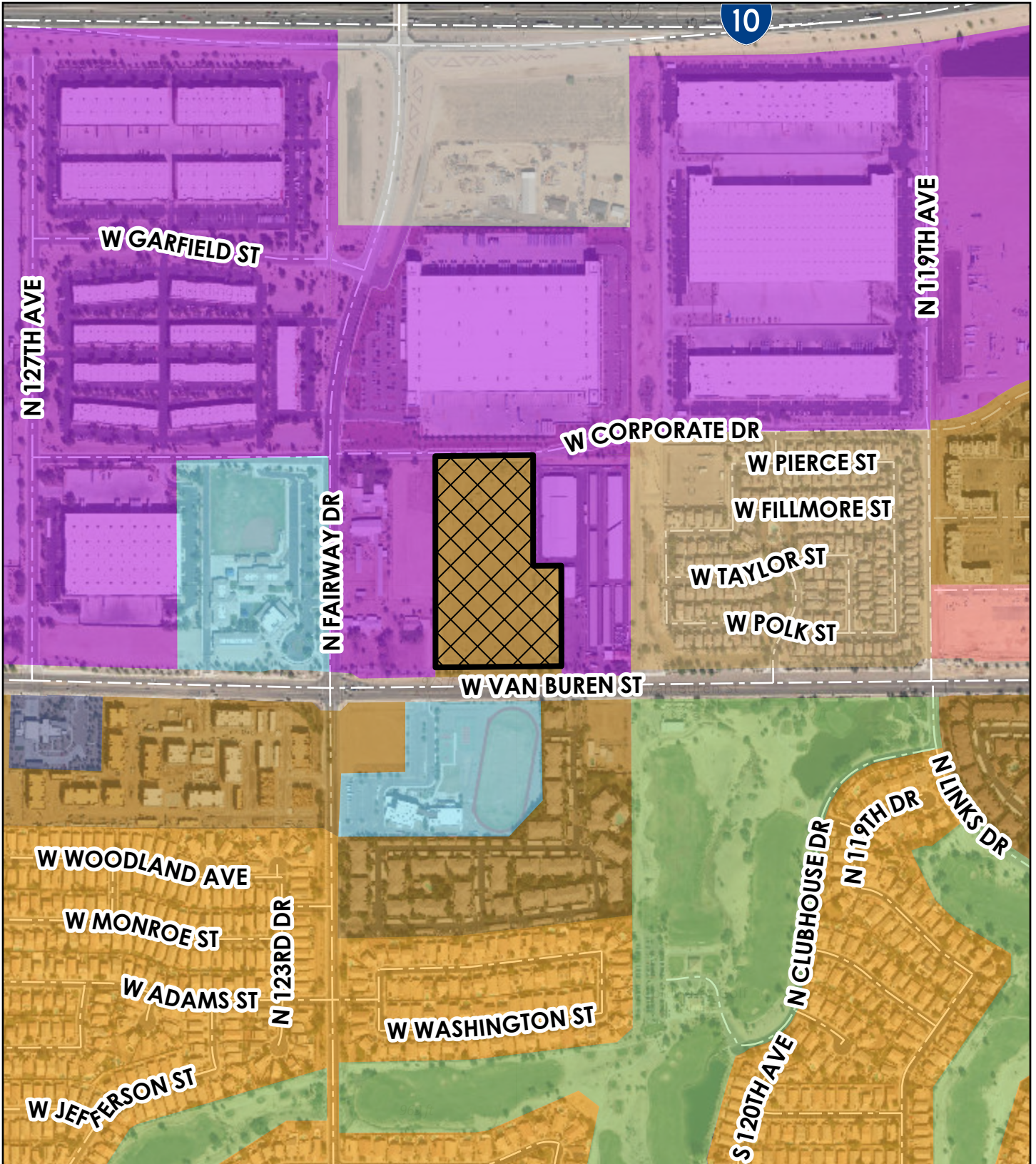


### Zoning Vicinity



Subject Property





## General Plan Land Use



- Medium Density Residential
- Medium/High Density Residential
- High Density Residential
- Local Commercial
- Business Park
- Open Space and Parks
- Public/Civic
- Education
- High Intensity Office



Subject Property



# CERRO VISTA CONDOS

## PAD REZONING NARRATIVE

CASE #: PL-25-0218  
1ST SUBMITTAL: AUGUST, 2025  
2ND SUBMITTAL: NOVEMBER, 2025  
3RD SUBMITTAL: FEBRUARY, 2026



PRESENTED BY:



B | F | S | O

BERGIN, FRAKES, SMALLEY & OBERHOLTZER

Kimley»Horn

# APPLICANT TEAM

## APPLICANT

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Figure 1: Vicinity Map

Figure 2: Regional Context Map

Figure 3: Existing & Proposed Zoning Map

Figure 4: Existing & Proposed General Plan Land Use Map

Figure 5: Conceptual Site Plan

Figure 6: Conceptual Open Space Plan

Figure 7: Colored Landscape Plan

Figure 8: Wall Plan

Figure 9: Typical Unit Cluster

Appendix A: Legal Description

Appendix B: Conceptual Product Renderings

Appendix C: Floorplans

# 1. INTRODUCTION

RVi Planning & Landscape Architecture, in conjunction with BFSO Law, is pleased to submit this rezoning application on behalf of Lennar Corporation for the development of a unique, 99-unit condominium project (the “Project”), in lieu of a previously entitled multi-family residential project known as Cerro Vista Condos. The subject site is approximately 11.5 gross and 10.1 net acres, located 500 feet east of the northeast corner of Van Buren Street and Fairway Drive. The APNs associated with this request are 500-01-001W and X (the “Property”). See *Figure 1: Vicinity Map* and *Appendix A: Legal Description*.

This application requests the City’s support to rezone the subject property from Multi-Family Residential (R-4) to Planned Area Development (PAD), with the comparable zoning district of Multi-Family Residential (R-3), to allow for the development of a 99-unit condo-platted community that will be developed as detached, single-story units. The product will be a first-to-market edition of Lennar’s “Dream Series”, which provides for independently owned units with private backyards that share common area amenities beyond the walls, including parking. By structuring the community this way, the project will deliver an attainable housing option targeted to entry-level homebuyers who may otherwise be priced out of the market.

The applicant has submitted a concurrent Minor General Plan Amendment to modify the site’s land use designation from High Density Residential to Medium/High Density Residential.

# 2. SITE BACKGROUND

Historically, the Property has been used for agricultural purposes. In August 2021, Avondale

City Council approved a 249-unit (21.63 DU/ac) multifamily residential project for the Property to be known as “Cerro Vista” (Ordinance 2041-0821). At that time, the Property was rezoned from the previous AG and C-2 zoning to the R-4 zoning district (PL-18-0800). A companion minor General Plan Amendment changing the Property’s land use designation from Urban Residential (30+ DU/ac) to a High Density Residential (12-30 DU/ac) was also approved (PL-18-0079). Conceptual site plans proposed a four-building complex of two- to-three stories in height massing along the Property’s street frontages. In August 2024, Avondale Development Services granted a one-year extension of Site Plan and Design Review to the Property owner.

As a result of shifts in market demand, the originally approved apartment community was not developed, leaving the site in its current vacant condition. The surrounding area presents a diverse mix of commercial and residential activity. See *Figure 2: Regional Context Aerial*. Directly east of the Property is River Crossing Self Storage (C-2), and just beyond that, the single-family development Desert Springs Village (PAD). Due north of the Property, across Corporate Drive, is the Fairway Commerce Center (PAD), a flex industrial warehouse development currently in use as an employment and distribution center. South of the Property, across Van Buren Street, is the Highland Prep West campus and the Coldwater Springs Apartments. The area immediately west of the Property is zoned AG accommodating a mix of vacant land, large-lot rural residences and outdoor storage operations. See *Figure 3: Existing and Proposed Zoning Map*.

The properties to the north, east, and west of the site are designated Business Park on the City of Avondale’s General Plan 2030 Land Use Map. South of Van Buren, the site borders Education and High-Density Residential land uses. See *Figure 4: Existing and Proposed General Plan Land Use Map*.

TABLE 1: SURROUNDING ZONING

	GENERAL PLAN LAND USE CATEGORY	EXISTING ZONING	EXISTING USE
North	Business Park	Planned Area Development (PAD)	Fairway Commerce Center
East	Business Park	Community Commercial (C-2)	River Crossing Self Storage
South	Education / High Density Residential	Planned Area Development (PAD)	Highland Prep West & Coldwater Springs Apartments
West	Business Park	Agriculture (AG)	Large Lot Residential

### 3. PROJECT DESCRIPTION

#### Development Plan

The Project is intentionally designed as a small-scale, ownership-oriented “missing middle” neighborhood that fills an important gap in Avondale’s available housing supply by providing attainable, for-sale homes in an infill location near jobs, schools, services, The BLVD, and the City’s growing trail systems.

The Project will offer several different elevation styles and floor plans ranging from two- to three-bedroom units. All homes will be for-sale product and will include a minimum 300 square feet of fenced-in rear yard private outdoor space for each resident. These private rear yards give residents functional outdoor space typically associated with traditional single-family neighborhoods, while retaining the convenience of a lock-and-leave condo community. This distinction separates the Project from conventional multi-family developments, which typically only offer balconies or small patios. See *Figure 5: Conceptual Site Plan* and *Appendix B: Conceptual Product Renderings*.

To avoid a garage-dominant streetscape and promote unit affordability, resident parking will be provided in shared parking strips. Parking will be proximately located to all homes and dispersed along the Project’s internal access loop. A minimum of one parking space will be provided per bedroom, with a designated covered space for each unit. This shared-parking configuration, rather than front-loaded garages, supports a calmer, more pedestrian and bicycle-friendly internal environment. Front entries and walkways, rather than garage doors, define the streetscape.

Beyond the individual units, the community is organized around a connected system of common open spaces that complement the private rear yards. A central green and a series of smaller neighborhood courts provide places where residents can gather, play, and relax just steps from their front doors. Units are oriented toward these shared spaces wherever possible, creating a strong sense of community amongst neighbors.

The Property’s frontage on the Van Buren multi-use path is a key feature of the community. The City’s Transportation Plan Bike and Pedestrian Maps each identify this path as a multi-use path that will connect this development and The BLVD, and the

2023 Active Transportation Plan shows this same path tying into future trails along the Agua Fria, creating access to a broader north-south multi-use network. The Project’s internal sidewalks and open spaces are therefore planned to connect directly to this path so that residents can comfortably walk or bike between their homes, The BLVD, nearby schools, and other destinations, without having to rely exclusively on the arterial street network. The Project will therefore engage and activate the City’s investment into the Van Buren multi-use path by providing residents with direct access and making the path a viable daily mobility and recreation option. To support this, the Central Community Hub includes an enclosed bicycle parking structure and bicycle repair stations are dispersed throughout the Project, giving residents a practical place to securely store and repair bikes. Together with the Van Buren path connection, these features help implement the Transportation Plan’s direction to “work with developers to provide bicycle-friendly amenities and connections and/or integrate similar aspects into City projects, as appropriate,” and position the Project as a community for residents who value trail access and active lifestyles.

#### Circulation

Ingress and egress into the Project will be provided as a three-quarter access driveway off of Van Buren Street, and a gated, resident access via remote and exit on Corporate Drive. The primary access of Van Buren Street will allow for right-in, right-out, and left-in movement. All perimeter open spaces will be maintained by the condominium association, inclusive of private driveways and front yards within the Project.

From a traffic perspective, this circulation system is designed to carry significantly less traffic than what the City has already approved for the site. Under the prior Cerro Vista entitlement, a 249-unit multi-family development was projected to generate approximately 1,680 daily trips, including about 100 AM-peak hour trips and 127 PM-peak hour trips. By contrast, the Project is expected to generate only about 668 daily trips, with roughly 40 AM-peak hour and 50 PM-peak hour trips. This represents a reduction of more than 1,000 daily trips, and approximately 60% fewer peak-hour trips on the same access system. As a result, each access point and the surrounding street network will experience substantially lower traffic volumes than under the previous entitlements, while still benefiting from a balanced, two-frontage access configuration.

## 4. LAND USES AND DEVELOPMENT STANDARDS

The requirements of the Zoning Ordinance, as amended, and Avondale Multi-family Design Manual, as amended, shall apply to the Project except where explicitly stated otherwise in this PAD. The housing product shall meet the intent of the design quality specified in the Single-Family Residential Design Manual, as amended. The Project proposes a minimum open space of fifteen percent (15%) as provided for in Section 28-114(e)(1) (A) of the Avondale Zoning Ordinance.

### Land Uses

The following uses for Cerro Vista Condos are permitted as set forth in the R-3 Section of the Zoning Ordinance:

#### 1. Single-Family Detached Dwelling Units

All uses not specifically provided for herein are prohibited, unless subsequent determination by the Zoning Administrator finds a specific use to be an analogous use to a permitted use.

### Development Standards

The Project most closely aligns with the City’s R-3 Residential Zoning District. Due to the unique nature of the proposed product type, the applicant requests to deviate from Section 28-35(B) of the City’s code that requires single-family development within a multi-family district to comply with R1-6 development standards. Development standards for the R-3 zoning district are shown alongside the proposed standards in **Table 2: Residential Development Standards**.

### Deviations and Justifications

The proposed residential product requires deviations from the R-3 development standards as established Section 28-35(B) of the City of Avondale Zoning Ordinance for setbacks and lot dimensions that generally emulate standards traditionally applied to townhome and condominium housing types. Because the proposed product will be site planned as a condominium plat, requested deviations require standards typically applied to multi-family projects.

**TABLE 2: RESIDENTIAL DEVELOPMENT STANDARDS**

	R-3 (PER CODE)	CERRO VISTA CONDOS PAD (PROPOSED)
Maximum units allowed	1 unit for every 3,630 square feet net site area	<b>1 unit for every 4,450 square feet net site area</b>
Minimum lot width	50'	n/a
Minimum lot depth	100'	n/a
Maximum height	30'	30'
Maximum building coverage	45%	45%
Minimum Perimeter Setbacks:		
Front yard	25'	<b>15'</b>
Minimum total both side yards	-	n/a
Minimum side yard	15' <sup>1</sup>	15'
Rear yard	15'	<b>8'<sup>3</sup></b>
Street side yard	20'	n/a
Minimum Building Separation <sup>2</sup>	-	<b>10'<sup>2</sup></b>

*Footnotes:*

1. Zero (0) feet for lots with common walls; fifteen (15) feet for lots with no common walls.

2. Section 206.B.3.b requirements for minimum building separation shall be measured from building faces and not corners.

3. All rear yards are required to be at minimum three hundred (300) square feet.

The proposed PAD standards maintain appropriate building height, separation, and coverage while tailoring setbacks and dimensional requirements to the condominium-platted, detached format. This approach allows the site to function like a well-designed multi-family community from an intensity and circulation standpoint, while providing a product that looks and feels like a single-family residential home.

Reduced front and rear setbacks are requested to make development feasible and to allocate more of the site to usable private backyards and common open space rather than deep, underutilized setback areas. Traditional condominium projects are not required to provide fenced private rear yards for each unit, but here every home will include 300 square feet of private rear yards, distinguishing the Project from conventional multi-family developments and promotes the General Plan’s emphasis on livable, family-friendly housing. The slight reduction in setbacks allows the Project to deliver this private open space without increasing building height or intensity, and without adversely impacting adjacent properties which are buffered by permitter landscaping.

The proposed PAD standards also impose a more restrictive maximum density standard than the underlying R-3 standard. Under Section 28-35(B), of the City of Avondale Zoning Ordinance, a maximum of one (1) unit per 3,640 square feet of net site area is permitted. As shown in **Table 2**, the proposed PAD reduces this to one (1) unit per 4,450 square feet of net site area. This increase in site area per dwelling unit permits additional room for open space, private rear yards, and building separations while reinforcing the unique character of the Project.

Additional deviations from the R-3 development standards, including lot width and lot depth, reflect the nature of the proposed housing product as the otherwise applicable standards were not conceived with a detached single-family style development in mind.

**Parking**

The required number of parking spaces for the project will be calculated utilizing Article 8, Section 28-164 of the City of Avondale Zoning Ordinance multi-family dwelling requirements, and Article 2, Section 28-36(b)(5) multi-family design standards

as provided below:

TABLE 3: MULTI-FAMILY PARKING REQUIREMENTS	
2 Bedroom:	1.75 spaces/unit
3 Bedroom:	2 spaces/unit
Plus: One (1) visitor space per five (units) must be provided; and at least one (1) space per multi-family unit must be covered and assigned to a unit.	

The parking supply as shown on **Figure 5: Conceptual Site Plan** exceeds the multi-family parking ratios required by Section 28-164, and is provided as a mix of covered and uncovered spaces in shared parking courts and on-street guest spaces along internal drives. As required by Article 8, Section 28-164 of the City of Avondale Zoning Ordinance, a minimum of one (1) covered parking space is being provided to residents, and a total of three (3) spaces are provided to each unit, irrespective of the number of bedrooms in each unit. This shared-parking approach supports the attainable nature of the product, while still comfortably accommodating both resident and guest parking demand.

**Deviations and Justifications**

The proposed residential product requires a deviation from the multi-family design standards, established in Article 2, Section 28-36(b)(5)(C) of the City of Avondale Zoning Ordinance, which requires single-family attached, townhome, and condominium developments to provide a garage at a ratio of one (1) per dwelling unit, the same as a single-family detached dwelling unit. The proposed housing product was specifically designed without a garage to maintain mortgage attainability and to deliver true “missing middle” entry homes for first-time buyers. From the outset, the Project was conceived to deliver target prices attainable for Avondale’s first-time homebuyer households. The inclusion of garages would substantially undermine that objective.

Constructing garages for each home would substantially increase per-unit construction costs and, in turn, final sale prices, preventing the Project from delivering attainable “starter homes” for the City’s growing workforce. Further, land required to accommodate individual garages and driveways, while maintaining setbacks, internal circulation

and open space, would result in a reduction of approximately thirty (30%) percent of total units. The increased land requirement and construction costs associated with garages is estimated to increase the total purchase price by forty (40%) percent, putting the units beyond the purchasing capability of the workforce population the Project was intended to serve. The community design also leverages access to major trail networks and cycling connections, and to reduce reliance on vehicles, provides amenities encouraging the use of rideshare services (e.g., Uber, Lyft) and bicycle ownership/use. By allowing the Project to deviate from the garage requirement of Article 2, Section 28-36(b)(5)(C) of the City of Avondale Zoning Ordinance, the City enables a small-scale, ownership-oriented community that still meets residents' parking needs while advancing the General Plan goals for high-quality, attainable "missing middle" housing.

Per the "Minimum Requirements for EV Charging Stations and EV-Capable Parking Spaces" Table established in Section 28-164 of the City of Avondale Zoning Ordinance, four percent (4%) of resident parking spaces and one percent (1%) of visitor parking spaces are required to have a "Level 2 EV Charging Station Installed", and sixteen percent (16%) of resident parking spaces and three percent (3%) of visitor parking spaces are required to be "EV-Capable For Level 2 EV Charging Station". The developer intends on installing nine (9) up-to-date EV charging stations at construction based on the required multi-family parking ratios in Section 28-164. There are concerns that the fluidity of the EV market and infrastructure will deem EV-capable spaces out-of-date by the time the homebuyers may choose to have one installed. Additionally, even when spread throughout the development, there is no guarantee that they will be located near the homes or assigned parking for the residents that desire such a service. For these reasons, the applicant requests to deviate from the EV-Capable requirement.

The Project's parking and EV strategy is also aligned with Avondale's Transportation and Active Transportation Plans, which encourage bicycle-friendly amenities and multi-modal connections. By emphasizing walkable internal streets, secure bicycle parking, and direct access to the Van Buren multi-use path, the Project is designed so that daily trips can occur on foot or by bicycle, rather than by car alone. EV infrastructure will be concentrated in locations where it can be efficiently expanded in

the future as demand grows, allowing the COA to respond to evolving technology while maintaining affordability.

## 5. LANDSCAPING

The Project will comply with the City's Multi-Family Residential Design Manual and Chapter 28 Article 12 Section 28-294 Landscape Design Standards of the City's Zoning Ordinance as modified below. See *Figure 7: Colored Landscape Plan*. The landscape concept prioritizes drought-tolerant, desert-appropriate plants and trees that provide shade and support the City's water conservation goals, as well as a cohesive streetscape along Van Buren Street and Corporate Drive.

### Deviations and Justifications

Section 28-294(b)(3) of the Avondale Zoning Ordinance requires a minimum of one-and-a-half trees per dwelling or guest unit. The applicant is requesting a deviation to reduce the overall planting requirement to 0.75 trees per dwelling unit in exchange for providing larger average private open spaces for each unit. Trees planted in the public right-of-way/street frontage may be counted toward the overall tree minimums required by this ordinance. The number of trees shall not include the trees required in a landscape buffer, parking lot, or landscape setback planting.

Rather than distributing trees by a formulaic application of perimeter tree rows, the Project concentrates shade where people walk, bike, and gather – along sidewalks, open spaces, and the multi-use path. The requested reduction in trees per unit is offset by the generous amount of open space and by the purposeful placement of trees to create a comfortable environment for pedestrians and cyclists.

Section 28-294(c)(3)(C)(i) of the Avondale Zoning Ordinance requires a fifteen (15) foot landscape setback from collector streets. Corporate Drive is defined by the City of Avondale as a Minor Collector street. The Project proposes an eight (8) foot minimum landscape setback, with an average thirteen (13) foot landscape setback from Corporate Drive. This deviation is justified by the fact that the Project will add a right turn deceleration lane from Corporate Drive, which requires additional right-of-way dedication. The right-turn lane is to be designed per City of Avondale Standard Detail A1258 with a storage length of seventy-five (75) feet and an 8:1

taper. By utilizing the eight (8) foot minimum and thirteen (13) foot average landscape setback along Corporate Drive, the Project is better able to allocate more depth to the oversized private rear yards and internal open spaces.

Section 28-294(c)(5)(A)(i) requires that a minimum land use buffer of fifteen (15) feet be provided where any Multi-Family Residential Zoning District or use abuts a Single-Family Residential Zoning District or use. Section 28-294(c)(5)(A)(i) is inapplicable to PAD developments and for the purposes of this development Cerro Vista shall be treated as Single-Family Residential with respect to land use buffer requirements.

## 6. MULTI-FAMILY RESIDENTIAL DESIGN MANUAL

The Project will comply with the City's Multi-Family Residential Design Manual's Site Design and Open Space & Amenities sections as modified below in a manner appropriate to its unique detached-home condominium product and infill context.

### Site Design

No deviations are requested for the Site Design portion of the Multi-Family Residential Design Manual.

### Open Space and Amenities

The Project will include fifteen percent (15%) of open space.

### Deviations and Justifications

**Open Space:** The Project proposes a deviation from the Multi-Family Residential Design Manual requirement of twenty percent (20%) usable open space to instead provide fifteen percent (15%) usable open space on the site. The fifteen percent (15%) usable open space amount meets the fifteen percent (15%) usable open space requirement for single-family PAD developments established in Section 28-114(e)(1)(A) of the Avondale Zoning Code, but is slightly less than the twenty percent (20%) requirement set by the Multi-Family Residential Design Manual.

To justify this deviation from the Multi-Family Residential Design Manual, in addition to the fifteen percent (15%) of net site area provided as common usable open space, the Project also provides approximately fourteen percent (14%) of the net

site area as private rear yard open space attached to each unit. As previously stated, the Project blends the character of traditional single-family and multi-family development and the private yard open space is in lieu of traditional balcony and courtyard open space. The Multi-Family Residential Design Manual requirement of eighty (80) square feet of balconies, porches, and patios would only amount to 1.7% of overall net acreage. The oversized private rear yards provided with this product type are a huge selling point for residents seeking a low maintenance single-family lifestyle. The fifteen percent (15%) usable open space, when combined with the fourteen percent (14%) of private backyard open space, goes above and beyond the twenty percent (20%) usable open space minimum required by the Multi-Family Residential Design Manual by providing a total of twenty-nine percent (29%) of usable open space for each resident. This figure in combination with the site's common passive open space, totals approximately 40% of the net site area devoted to open space. Additionally, the residents will have access to the Van Buren Trail running along the southern property edge, which will provide ample opportunity for additional outdoor recreation with connections to the broader Agua Fria and regional trail network. See **Figure 6: Conceptual Open Space Plan**.

This combination of private and common open space meets Section 28-114(e)(1)(a)'s fifteen percent (15%) usable open space requirement for single-family PAD developments, as well as the Multi-Family Residential Design Manual's minimum of twenty percent (20%) usable open space requirement (when including the private yard open space), and creates a livable environment, particularly for families and pet owners who value both personal outdoor space and shared greenspace. When paired with direct access to the Van Buren Trail.

**Amenities:** Per the City of Avondale's Multi-Family Residential Design Manual, a clubhouse and community pool are required for developments over fifty (50) units, whereas if this product was built on traditional single-family lots it would be governed by the Single-Family Residential Design Manual, which requires a pool and clubhouse for developments with over five hundred (500) lots.

The Project seeks to deviate from Multi-Family Residential Design Manual community pool and clubhouse requirement for developments

over fifty (50) units by providing the alternative equivalent programming for an outdoor clubhouse environment and an amenity package that is better matched to a small, for-sale detached community, and serves as the functional equivalent of the traditional pool and clubhouse amenities. See *Figure 7: Colored Landscape Plan*.

In lieu of a pool and indoor clubhouse, the Central Community Hub will feature an outdoor kitchen and gathering space with at least seven (7) of the following eleven (11) elements that include amenities:

- Shade Structure
- Multiple Built-In Grills
- Pizza Oven
- Active Turf Area
- Fire Pit with Adirondak Chairs
- Picnic Tables
- Built-In Coolers
- Bench Swing
- Multiple Preparation Tables/Counters
- Built-In Sinks
- Like Amenity (as approved by the Planning Director)

The Central Community Hub will serve as the functional equivalent of a clubhouse and acts as an extension of the homes. Due to the size of the proposed units, the Central Community Hub provides residents with additional space to comfortably host friends and family while simultaneously allowing for the opportunity for residents to meet, play, interact, and dine together.

Rather than concentrating all activity in one indoor building and pool, the Project's amenity program includes a series of smaller activity nodes dispersed throughout the site. Complementing the Central Community Hub, each node will be amenitized with at least one (1) of the following seven (7) elements:

- Additional Usable Green Spaces
- Dog Run
- Community Library
- Mural Wall
- Succulent Garden
- Shaded Seating
- Like Amenity (As approved by the Planning Director)

See *Figure 5: Conceptual Site Plan*. The community also incorporates features to support a multi-modal lifestyle such as bicycle-oriented amenities like bike fix-it stations and secure bike storage that seek to take advantage of the adjacent Van Buren multi-use trail, reinforcing an active, outdoor lifestyle and encouraging residents to walk and bike for short trips.

Taken together, the proposed amenity package fosters frequent, casual interaction among neighbors and helps residents build the kind of relationships and sense of community typically found in a traditional single-family neighborhood. In doing so, the PAD meets the functional intent of the Multi-Family Residential Design Manual's vision for communities like the Project.

### **Building Design**

Due to the nature of the proposed product type, the Building Design section of the Multi-Family Residential Design Manual does not apply to the Project. Rather, the Building Design section of the Single-Family Residential Design Manual will apply to the Project.

## **7. SINGLE-FAMILY RESIDENTIAL DESIGN MANUAL**

The Project provides attainable single-family homes within a multi-family style layout. As such, the architecture of the homes shall be reviewed under Section 2 – Home Design of the City's Single-Family Residential Design Manual. As is acknowledged under both residential Design Manuals, the Zoning Administrator has latitude to interpret the qualitative and quantitative standards to provide flexibility so long as projects meet the intent of the Manual(s), which includes emphasizing visual character, environmentally conscious design, and pedestrian-friendly opportunities to establish a healthy sustainable community.

### **Home Design**

#### **Architectural Design/Materials and Colors:**

B. Incorporate architectural elements and details that add visual interest, scale, and character to all sides of the home to include four-sided pop outs.

**Deviation:** Window detailing shall be provided on all four sides of the homes. Architectural pop outs

will be provided on the front elevation of all homes, and on the side when homes are siding the internal streets.

These treatments ensure that homes present a finished, high-quality appearance to both internal streets and open spaces, reinforcing the neighborhood’s character even despite the compact unit footprints and emphasis on attainability.

**Section 2.2 Roof Articulation and Design:**

A. Developers should provide a purchase option for homes that can be built with a section reserved for the future installation of a solar photovoltaic or solar thermal system. [Per IECC 2018].

**Deviation:** To help manage mortgage attainability, this option will not be provided to homebuyers. However, the COA will not prohibit homeowners from installing solar independently.

B. No adjacent home or home directly across the street shall have the same elevation or roofline.

**Deviation:** No adjacent home or home directly across the street shall be identical, but the main ridge line orientation, pitch, and height are allowed to be the same throughout the community. The applicant has also exceeded City requirements by providing a minimum of four floor plans, each with three elevations per floorplan. This will ensure greater product and elevation diversity throughout the community.

The increase in floorplan and elevation variety, as well as the maintenance of a cohesive roofline, achieve the Manual’s goals for architectural diversity while keeping construction efficient enough to support attainable price points.

**Section 2.3 Architectural Elements and Details:**

C. Patio covers shall be provided as a standard feature and shall be compatible with the architectural style.

**Deviation:** Due to the small size of the proposed product type, in lieu of rear patios, roof overhangs will be provided over rear or side exterior doors. Additionally, residents will be permitted by the COA to install freestanding pergolas and other shade structures of limited height subject to COA Design Review approval. All units will have covered front porches, which will be more heavily used by

residents due to most homes fronting onto shared open space.

Covered front porches will serve as the primary transitional space between home and neighborhood, stimulating internal streets and open spaces. Allowing optional rear-yard shade structures gives buyers flexibility to customize their outdoor space over time while maintaining the affordability of the homes.

**Section 2.5 Required Home Diversity:**

Cerros Vista Condos shall include a diversity of architectural types as modified in *Table 4* below.

TABLE 4: REQUIRED HOME DIVERSITY		
	SINGLE FAMILY UNITS (0-99)	CERRO VISTA PAD PROPOSED
Number of Floor Plans Required	Minimum of 3 floor plans, 4 elevations per plan	Minimum of 4 floor plans, 3 elevations per plan
Number of Roof Styles Required	Minimum of 3 different roof styles	Minimum of 3 different roof architectural styles and 2 different roof materials
Number of Color Schemes Required	Minimum of 8 different color schemes per plan	Minimum of 8 different color schemes per plan, which may be shared amongst the different plans
Number of Roof Colors Required;	Minimum of 3 different roof colors	Minimum of 4 different roof colors

See *Appendix B: Conceptual Product Renderings* and *Appendix C: Floorplans*.

The mix of plans, elevations, and color palettes shown in the appendices will create a varied, interesting streetscape appropriate to a prominent infill site along Van Buren and within the City’s urban core.

## 8. INFRASTRUCTURE

### Surrounding Street Improvements

The City of Avondale classifies Van Buren Street as a Major Arterial with an 85' northern half street right-of-way to accommodate the Van Buren Trail corridor. This right-of-way has already been dedicated, and half street improvements will be built as part of this project. Corporate Drive is designated as a Minor Collector with a 40' half-street right-of-way. The Project will be pursuing a deviation from this half-street right-of-way width to 30' as provided below.

### Deviations and Justifications

A 30' half-street right-of-way reduction is being requested to match the dedication improvements adjacent to the site, and this request will facilitate a continuous design. Recently completed projects to the west and east along the Corporate Drive corridor have dedicated only 30' half street rights-of-way from N 127th Avenue to N 119th Avenue.

### Water

The Cerro Vista site is not currently served by any existing water or wastewater services. The site is located within the limits of City of Avondale, and the site will utilize municipal City of Avondale potable water and wastewater service. Adequate water and wastewater lines are available immediately adjacent to the site for connection. Impact fees will be required to serve the Property.

The demand calculations below for the development are based on 99 residential dwelling units and a clubhouse with the following associate demands using criteria in the City of Avondale 2018 Integrated Utility Master Plan and the City of Avondale General Engineering Criteria.

Water demand calculations provided below are based on factors provided in the 2018 Integrated Utility Master Plan and the following site-specific assumptions:

- 11.5 gross acre site
- 99 dwelling units
- 8.6 DU/Acre
- 4.6 acres of open space
- One Central Community Hub

The target density for Medium/High Density residential was revised upward from four (4) to eight (8) DU/acre as part of the City's 2022 General Plan Amendment cycle. The latest IUMP was published in 2018, prior to this change in target density. Therefore, the Medium/High Density residential water demand factors are substantially lower than they need to be to reflect the new density target. The Project is proposing a density near the revised Medium/High Density target of eight (8) DU/Acre, therefore the proposed water demand is larger than the calculated demand using the standard IUMP factor. The Project also proposes shared common area and landscaping that is more in line with a multi-family project. This heightened level of amenitization also contributes to increased water usage.

While the proposed water usage is slightly higher as compared to the standard Medium/High Residential designation, it is a substantial actual decrease (approximately 44% decrease) as compared to the current High Density Residential entitlement.

Refer to **Table 5** for the current Water Allowance, defined in section 24-151 of the Avondale Municipal Code, demand based on the current General Plan designation as per the 2018 IUMP. Refer to **Table 6** for the standard Water Allowance demand based on 2018 IUMP factors for the proposed General Plan designation. Refer to **Table 7** for the proposed Water Allowance demand based on the proposed site plan and actual unit count/density. This water use will be greater than the Medium/High Density residential GPAD level, but significantly lower than the High Density Residential GPAD level that is currently in place. A Water Allowance greater than the allocation in the IUMP is permitted subject to a written agreement between the applicant and the city, per 24-155 (d)(1) of the Avondale Municipal Code.

The Proposed water system will connect to existing public mains with sufficient capacity located in W. Van Buren St. and W. Corporate Drive.

**TABLE 5: CURRENT ALLOWABLE WATER USE DEMAND (AWU)**

LAND USE	AVERAGE DAILY DEMAND (GPAD)	AVERAGE DAILY FLOW (GPD)	PEAK FIRE FLOW DEMAND (GPM)
High Density Residential (11.5 acres)	7,220	83,030	1,000

**TABLE 6: NEW GPA ALLOWABLE WATER USE DEMAND (AWU)\***

LAND USE	AVERAGE DAILY DEMAND (GPAD)	AVERAGE DAILY FLOW (GPD)	PEAK FIRE FLOW DEMAND (GPM)
Medium/High Density Residential (11.5 acres) [assumes out of date density target of 4 DU/Ac]	1,444	16,606 [standard water usage for 4 DU/Acre]	1,000

**TABLE 7: PROPOSED ALLOWABLE WATER USE DEMAND (AWU)\*\***

LAND USE	AVERAGE DAILY DEMAND (GPAD)	CLUBHOUSE/ OPEN SPACE DEMAND (GPAD)	AVERAGE DAILY FLOW (GPD)	PEAK FIRE FLOW DEMAND (GPM)
Medium/High Density Residential (99 Units) + Clubhouse and Open Space [based on proposed site plan and density of 8.6 Du/Acre]	361	2,300	46,319	1,000

**Sanitary Sewer**

There are currently no existing wastewater services on the Cerro Vista Condos site. Sewer demands are estimated by referring to the City of Avondale 2018 Integrated Utility Master Plan as follows:

The proposed system will tie into the existing 30' RCP public sewer main with sufficient capacity located on W. Van Buren St.

**Grading and Drainage**

Cerro Vista Condos shall conform to the standards set in the City of Avondale General Engineering Criteria. The onsite stormwater system will retain the 100 YR - 2 HR storm through a combination of underground retention tanks and surface retention basins.

**TABLE 8: SEWER DEMAND**

LAND USE	AVERAGE DAILY DEMAND (GPD/DU)	AVERAGE DAILY FLOW (GPD)
Medium/High Density Residential	217 (gpd/du)	21,443
Clubhouse*	100 (gpd/population)	5,000
<b>Total</b>		<b>26,443</b>

\*Country Club value of 100 gpd/population from ADEQ 18-09 Table 1, assuming an equivalent population of 50 people.

There are currently no offsite flows that affect the Cerro Vista Condos site. The adjacent half-streets of W. Corporate Dr. and W. Van Buren St. will be captured and retained onsite.

A preliminary Drainage Plan is provided separately.

### **Solid Waste**

The Cerro Vista Condos development will have central common dumpsters for resident use. The Condo Owners Association will contract with a private solid waste collection service for disposal.

### **Schools**

The Project is located within Littleton Elementary School District #65 (Collier Elementary School) and the Tolleson Union High School District (La Joya Community High School). The applicant will maintain ongoing coordination with the districts throughout the development process.

## **9. OWNERSHIP AND MAINTENANCE**

Common areas will be privately owned by the community COA and operated and maintained by a professional management company. The construction, ownership, operation, and maintenance of common areas and perimeter rights-of-way ensure consistency and conformance with the intended character of the Property. The condominium plat will be established such that homes, shared walls, and private yards shall be maintained by the individual unit owner.

## **10. CONFORMANCE WITH AVONDALE PLANS**

### **Avondale General Plan 2030**

A concurrent Minor General Plan Amendment has been submitted to change the Project's land use designation from High Density Residential to Medium/High Density Residential on the City's General Plan Map. The maximum density for this Project is 99 Units, and the Target Density in the Medium/High Density Residential category is 8 DU/AC. Consequently, the Project is "on target" with the requested Designation.

The Avondale General Plan 2030 emphasizes the development of "diverse housing options," including

housing that is affordable to workers so they can live near their jobs and housing that gives residents opportunities to "upgrade living arrangements locally." It notes that rising home prices have led to "a shortage in the region and state for all levels of housing, in particular, the entry-level housing market," and stresses that the City must remain committed to ensuring that safe housing is available and relatively attainable in clean neighborhoods for residents of all races, ages, incomes, and cultures. The Plan highlights workforce housing as an important priority and cautions that providing more of the same housing product the City already has in large quantities would restrict Avondale's ability to diversify and is discouraged. It expressly adopts Goal 2: "Champion the development of housing types not currently available in the City to allow for a variety of socio-economic levels."

This Project directly implements those policies on a long-vacant infill site. It introduces a new, for-sale housing type—detached, single-story condominium homes with private yards—at a scale and price point targeted to entry-level buyers and local workers. It places those homes in an employment and education corridor, allows residents to live near jobs and schools, and wraps them in both private and common open space connected to the Van Buren multi-use path. By providing smaller homes, shared parking courts instead of individual garages, and strong bicycle and pedestrian connections, the Project responds to the General Plan's call for diverse, attainable housing choices in walkable, livable neighborhoods rather than "more of the same" conventional product.

### **The Avondale Freeway Corridor Specific Plan**

The Avondale Freeway Corridor Specific Plan covers the majority of land within a ½ mile each way of the freeway located within the Avondale city limits. The Plan's primary focus is to capitalize on the freeway's visibility by directing employment, commercial, and mixed-use development to this corridor in a way that enhances Avondale's image and creates a more urban, walkable environment. The Plan also focuses on compatible residential districts that will support these uses.

The Project is consistent with and supportive of this plan. It places attainable, for-sale homes immediately adjacent to significant employment in the Fairway Commerce Center and other nearby

business park areas, reinforcing a jobs–housing balance along the freeway corridor. It provides high-quality architecture and landscaping along both Van Buren Street and Corporate Drive, contributing positively to the City’s image in these important gateways. And it leverages existing transportation and utility infrastructure on two fronting streets, maximizing the efficient use of urban services in the corridor.

### **The BLVD Specific Plan**

The Property lies just west of The BLVD, Avondale’s mixed-use entertainment and civic core. The BLVD Specific Plan describes this area as the “heart” of the Avondale community, with small plazas, parks, recreation, and sports facilities serving as primary gathering spaces for residents and visitors.

The Project supports and reinforces this vision by adding a modest-scale ownership neighborhood within a short walk or bike ride of The BLVD. Residents will be well-positioned to frequent The BLVD’s restaurants, shops, plazas, sports facilities, and Aquatic Center, strengthening the customer and workforce base for existing and future businesses. By deliberately relying on The BLVD’s public plazas, parks, and recreation amenities for major recreational experiences—and focusing on daily-use amenities on-site—the Project encourages residents to treat The BLVD as their “big backyard” and helps ensure that the City’s public investments in that district are fully utilized.

## **11. CONCLUSION**

The Project’s location adjacent to existing employment areas, the active Van Buren Street corridor, and Avondale’s The BLVD area to the east, provides an opportunity to create a unique, attainable, for-sale product type that will still be in harmony with the surrounding area.

The concurrent rezoning and General Plan Amendment requests are consistent with many of the policies of the City of Avondale’s General Plan 2030 and the Freeway Corridor Specific Plan. The Project intends to develop a vacant site that will provide a high-quality attainable housing option in the West Valley that is compatible with the urban character of the Avondale urban core.

FIGURE 1: VICINITY MAP

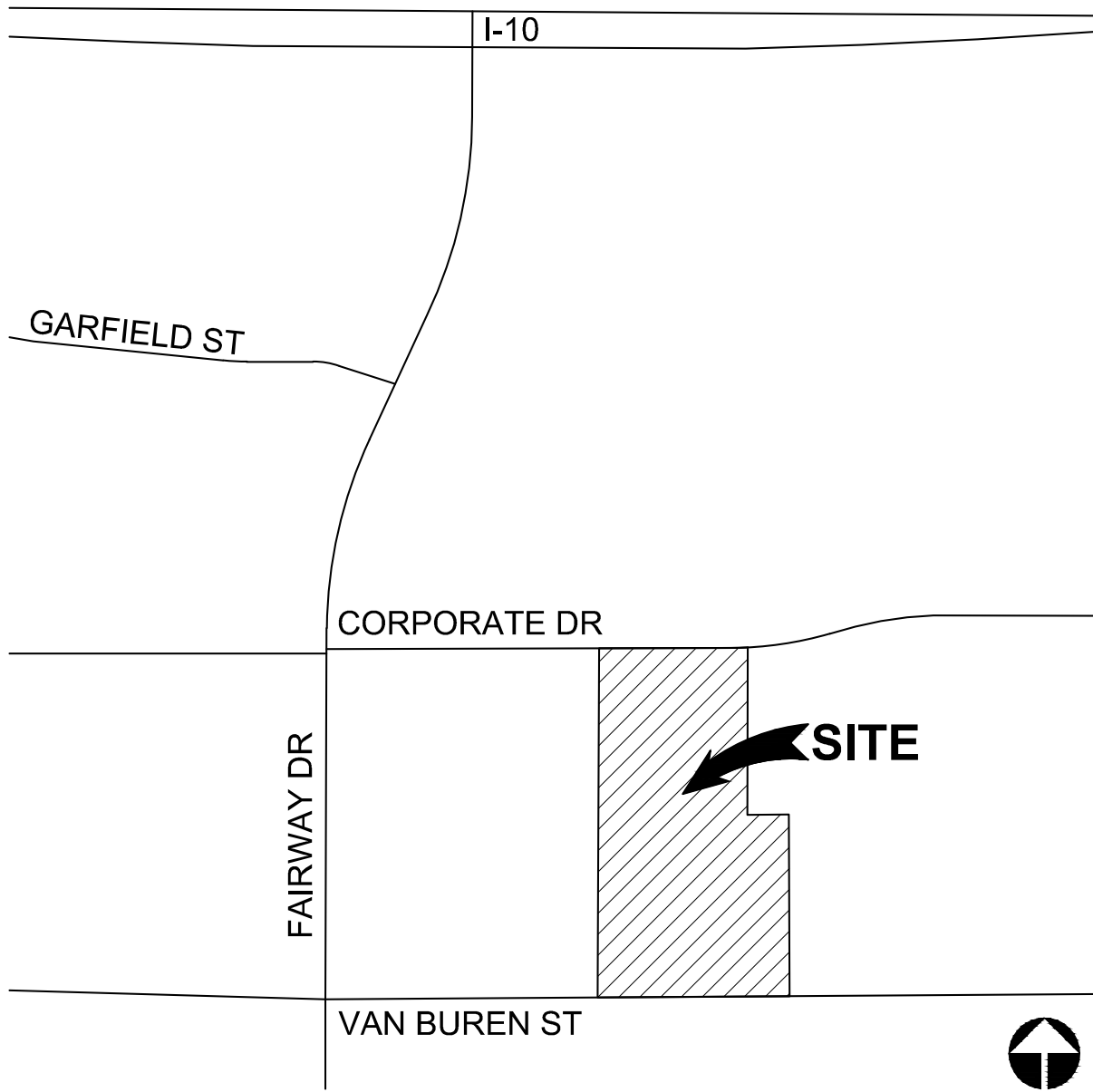
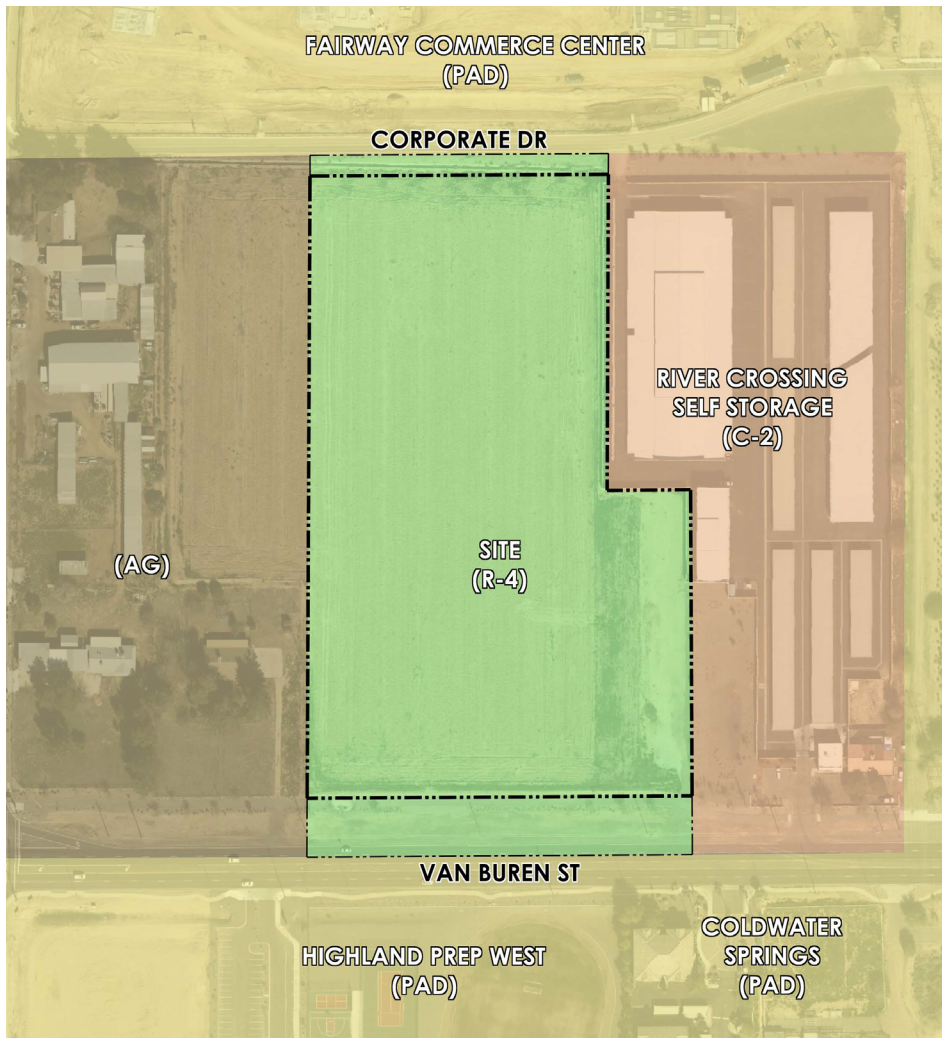


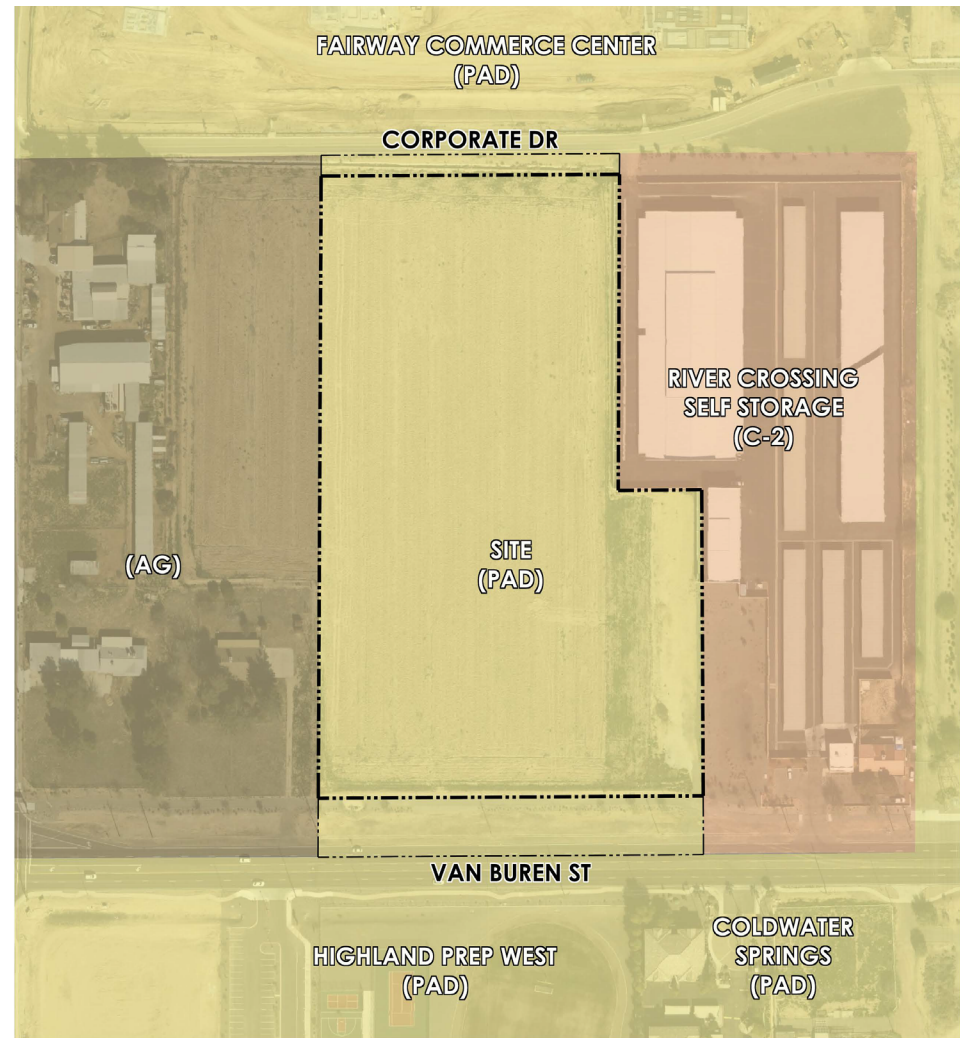
FIGURE 2: REGIONAL CONTEXT MAP



FIGURE 3: EXISTING & PROPOSED ZONING MAP



EXISTING ZONING

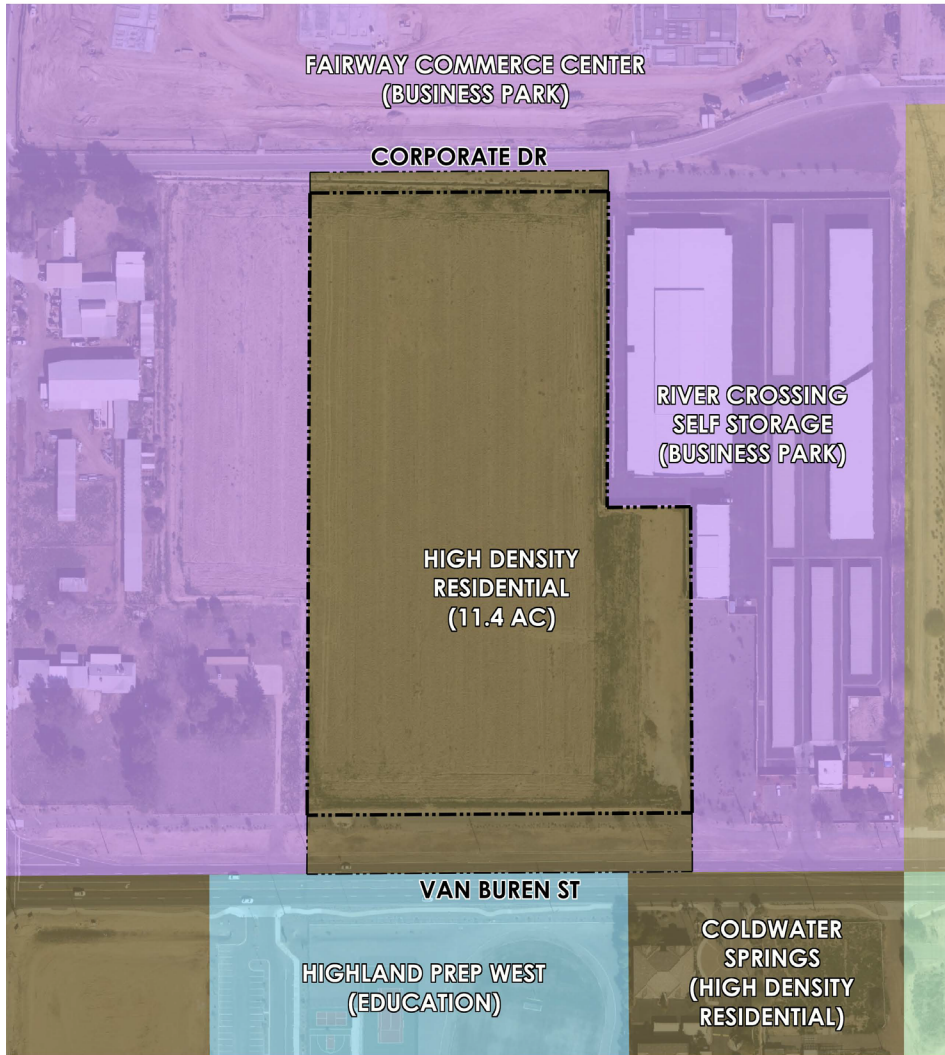


PROPOSED ZONING

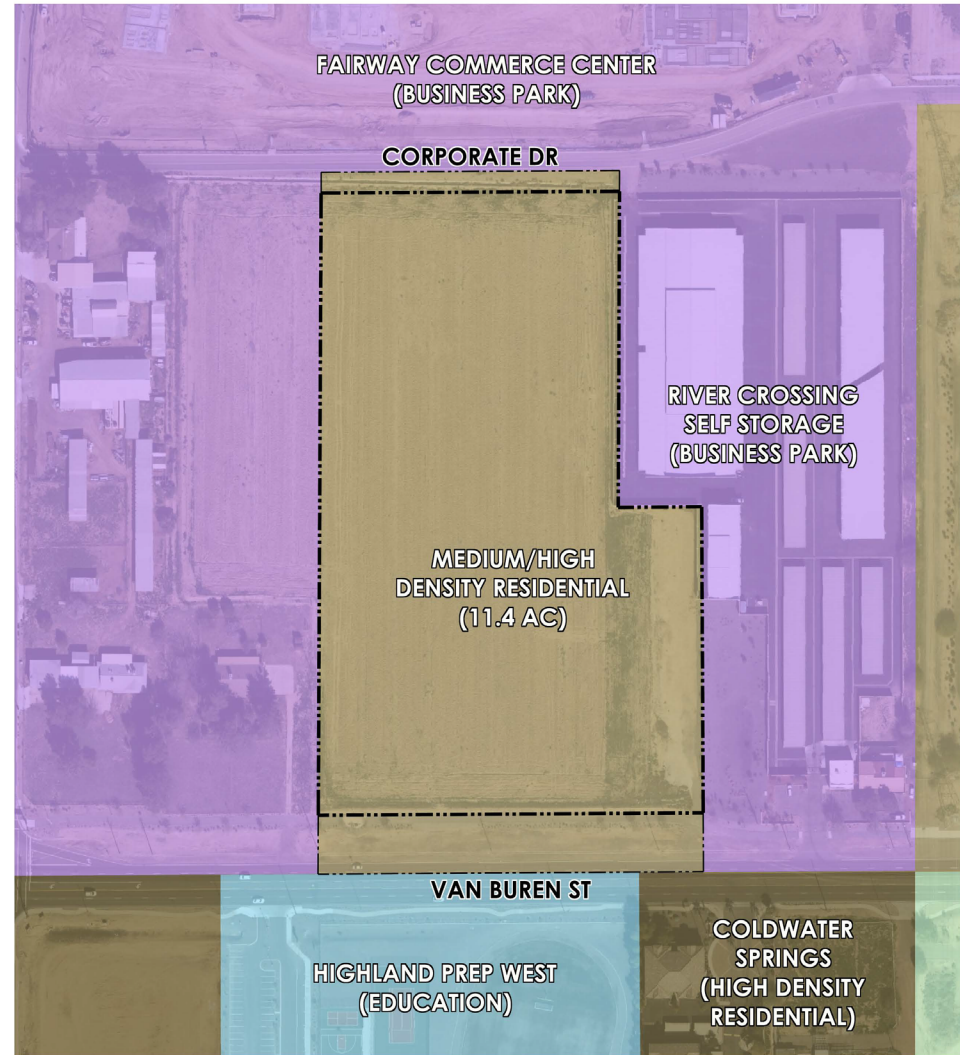


NTS

# FIGURE 4: EXISTING & PROPOSED GENERAL PLAN LAND USE MAP



EXISTING GENERAL PLAN LAND-USE



PROPOSED GENERAL PLAN LAND-USE



FIGURE 5: CONCEPTUAL SITE PLAN

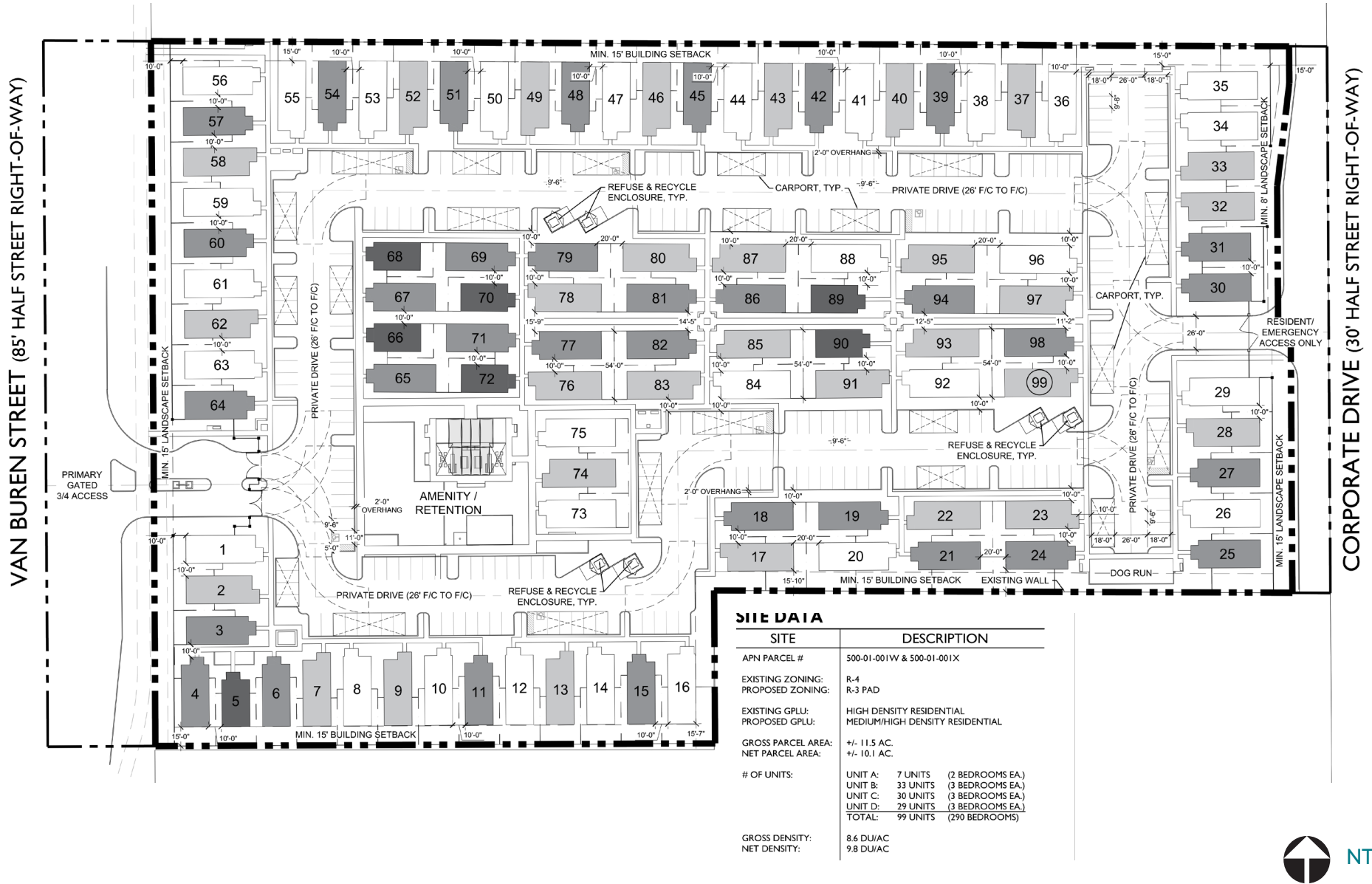


FIGURE 6: CONCEPTUAL OPEN SPACE PLAN

**OPEN SPACE SUMMARY**

OPEN SPACE REQUIRED: 65,998.8 SF USABLE OPEN SPACE  
(439,992 SF NET SITE X 15%)

OPEN SPACE PROVIDED:

USABLE OPEN SPACE:	65,998.8 SF (15%)
PASSIVE OPEN SPACE:	66,689.4 SF (15%)
PRIVATE OPEN SPACE:	61,394.05 SF (14%)

**LEGEND**

- ① CENTRAL AMENITY
  - ② DOG RUN
  - ③ PEDESTRIAN NODE / SEATING
  - ④ BIKE 'FIX-IT' STATION
  - ⑤ ACTIVE TURF AREA
  - ⑥ RIDE SHARE PICKUP / DROP OFF
- 
- - - PEDESTRIAN CONNECTIONS TO VAN BUREN ST & CORPORATE DR
  - - - 4' LOOPED WALKING TRAIL CONNECTING OPEN SPACE AND AMENITIES
  - - - 6' CONCRETE SPINE PATH

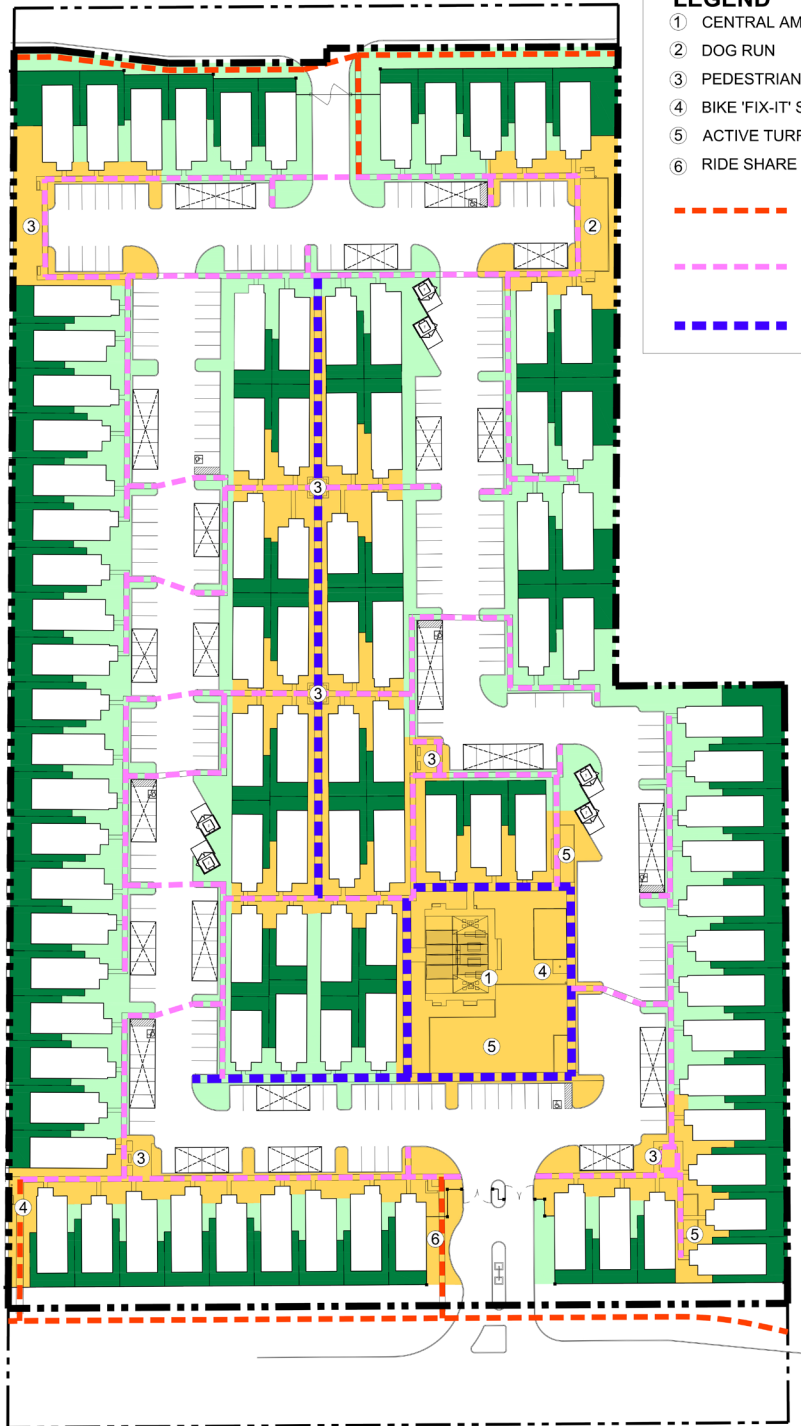


FIGURE 7: COLORED LANDSCAPE PLAN



PLANT PALETTE

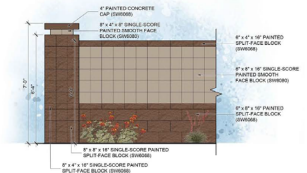
TREES	BOTANICAL / COMMON NAME
	Acacia aneura MULGA
	Acacia saligna WILLOW ACACIA
	Pistacia chinensis CHINESE PISTACHE
	Proscopis x AZT AZT THORNLESS MESQUITE
	Sophora secundiflora 'Silver Peko' SILVER LEAFED TEXAS MOUNTAIN LAUREL
	Ulmus parvifolia EVERGREEN ELM
SHRUBS & ACCENTS	BOTANICAL / COMMON NAME
	Agave americana CENTURY PLANT
	Agave desertiana SMOOTH AGAVE
	Acrodes subulata DESERT MILKWEED
	Bouteloua gracilis 'Stonks Ambition' BLONDE AMBITION BLUE GRAMA
	Carpodacus griseus YELLOW BIRD OF PARADISE
	Calliandra eriophylla PINK FAIRY DUSTER
	Dodonaea viscosa HOPSEED BUSH
	Eremophila glabra 'Winter Blaze' WINTER BLAZE ELM BUSH
	Eremophila hydrophilans 'Blue Bells' BLUE BELLS
	Eremophila maculata 'Valentine' VALENTINE ELM BUSH
	Fouquieria torreyana OCOTILLO
	Hesperaloe parviflora RED YUCCA
	Jatropha californica CHUPEROSA
	Leucophyllum candidum 'Silver Cloud' TM SILVER CLOUD TEXAS RANGER
	Leucophyllum laurifolium 'Lynn's Legacy' LYNN'S LEGACY TEXAS RANGER
	Muhlenbergia capillaris 'Regal Mist' TM REGAL MIST MULEY GRASS
	Muhlenbergia rigens DEER GRASS
	Nerium oleander 'Pettie Pink' PETTIE PINK OLEANDER
	Quercus engelmannii ENGELMANN'S PRICKLY PEAR
	Rhus microcarpa LADY'S SLIPPER
	Ruellia brittoniana DESERT RUELLIA
	Ruellia equisetiformis FIRECRACKER PLANT
	Simmondsia chinensis JOJOBA
	Tecoma stans 'Gold Star' GOLD STAR YELLOW BELLS
GROUNDCOVER & VINES	BOTANICAL / COMMON NAME
	Bougainvillea 'Barbara Karst' BARBARA KARST BOUGAINVILLEA
	Convolvulus chinensis BUSH MORNING GLORY
	Rosa rugosa 'Huntington Carpet' HUNTINGTON CARPET ROSEMARY
	Ruellia brittoniana 'Blanca' WHITE DWARF RUELLIA
	Ruellia brittoniana 'Katie' BLUE DWARF RUELLIA
	Ruellia brittoniana 'Rosa' DWARF PINK RUELLIA
MISCELLANEOUS	BOTANICAL / COMMON NAME
	ROCK MULCH
	'PALMINGO GOLD'

FIGURE 8: WALL PLAN

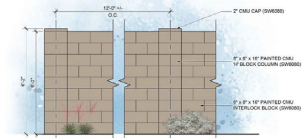
**WALL PLAN LEGEND**

- THEME WALL
- PAINTED BUILDER WALL
- EXISTING WALL
- - - FULL VIEW FENCE
- ⊠ COLUMN

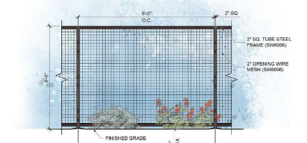
**WALL DETAILS**



1. **THEME WALL**  
NOT TO SCALE



2. **DOOLEY WALL**  
NOT TO SCALE



3. **FULL VIEW FENCE**  
NOT TO SCALE

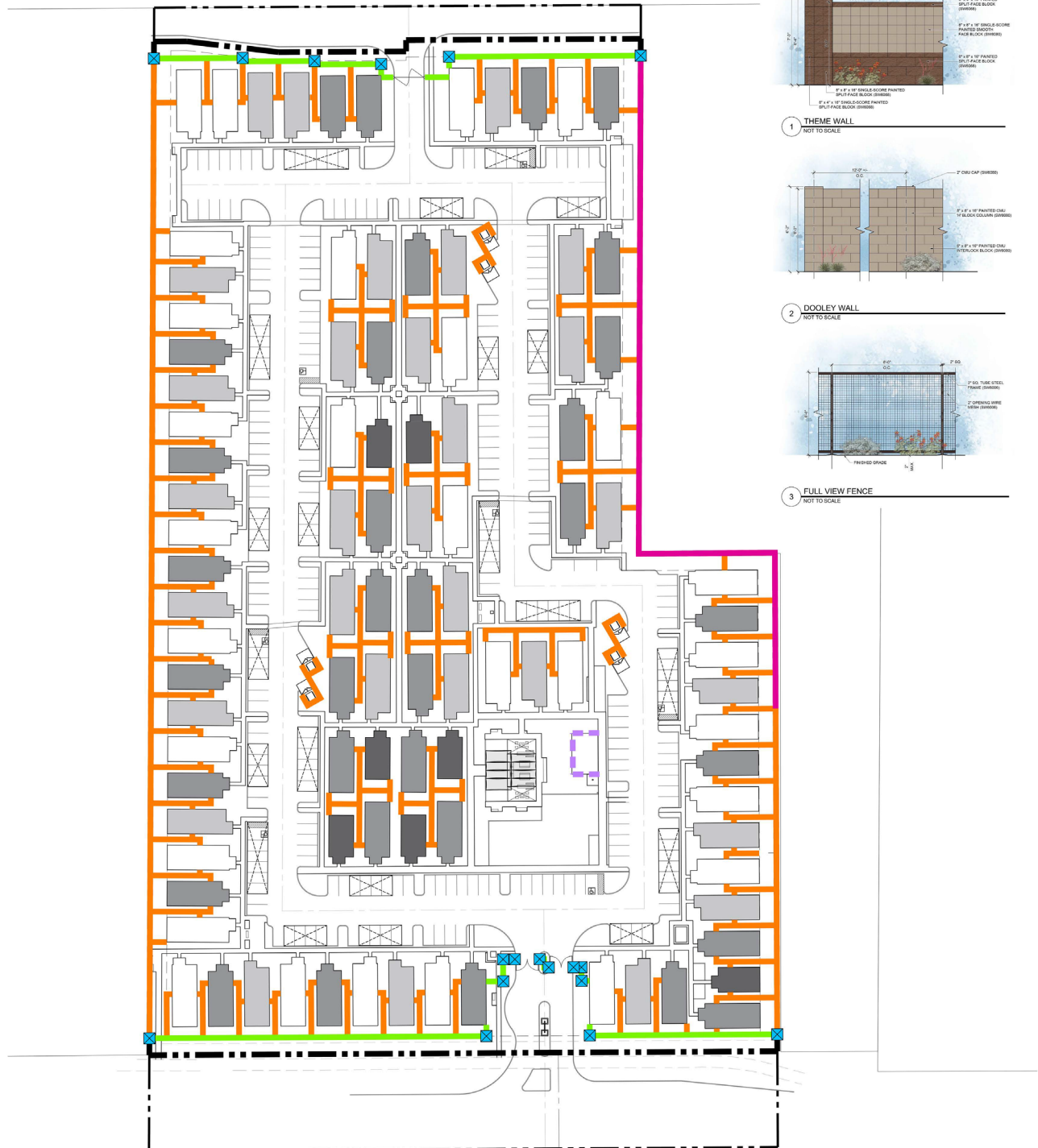


FIGURE 9: TYPICAL UNIT CLUSTER



## APPENDIX A: LEGAL DESCRIPTION

**EXHIBIT "B"**  
**ZONING BOUNDARY DESCRIPTION**

A PORTION OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 1 TOWNSHIP 1 NORTH, RANGE 1 WEST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**COMMENCING** AT THE SOUTH QUARTER CORNER OF SAID SECTION 1, BEING MARKED BY A BRASS CAP IN HANDHOLE, FROM WHICH THE SOUTHWEST QUARTER OF SAID SECTION 1, BEING MARKED BY A BRASS CAP IN HANDHOLE, BEARS SOUTH 89 DEGREES 38 MINUTES 06 SECONDS WEST, 2653.77 FEET;

THENCE SOUTH 89 DEGREES 38 MINUTES 06 SECONDS WEST, ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER, 1632.40 FEET TO THE **POINT OF BEGINNING**;

THENCE CONTINUING ALONG SAID SOUTH LINE, SOUTH 89 DEGREES 38 MINUTES 06 SECONDS WEST, 556.96 FEET;

THENCE DEPARTING SAID SOUTH LINE, NORTH 00 DEGREES 15 MINUTES 41 SECONDS EAST, 1013.26 FEET;

THENCE NORTH 89 DEGREES 39 MINUTES 42 SECONDS EAST, 431.09 FEET;

THENCE SOUTH 00 DEGREES 13 MINUTES 49 SECONDS WEST, 486.40 FEET;

THENCE NORTH 89 DEGREES 35 MINUTES 20 SECONDS EAST, 120.59 FEET;

THENCE SOUTH 00 DEGREES 17 MINUTES 05 SECONDS EAST, 526.72 FEET TO SAID **POINT OF BEGINNING**;

SAID PARCEL CONTAINS 501,770 SQUARE FEET, OR 11.5190 ACRES MORE OR LESS.





**HUBBARD**  
**ENGINEERING**

www.hubbardengineering.com

1201 S. Alma School Rd.  
Suite 12000  
Mesa, AZ 85210  
Ph: 480.892.3313

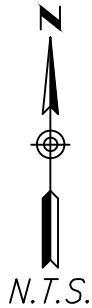
FAIRWAY DRIVE INDUSTRIAL PARTNERS LLLP

BK. 1692, PG. 5, M.C.R.

APN: 500-01-605

**CORPORATE DRIVE**

$N89^{\circ}39'42''E$  431.09'



DIXON JO ANN  
APN: 500-01-001V

$N0^{\circ}15'41''E$  1013.26'

ZONING  
BOUNDARY

$S0^{\circ}13'49''W$  486.40'

$N89^{\circ}35'20''E$   
120.59'

ES RIVER CROSSING  
STORAGE ARIZONA LLC  
BK. 1579, PG. 27, M.C.R.  
APN: 500-01-601

$S0^{\circ}17'05''E$  526.72'



464.41'

556.96'

1632.40'

SW CORNER,  
SEC. 1, T1N, R1W  
FND. BCHH

$S89^{\circ}38'06''W$  2653.77'  
S. LINE, SW 1/4, SEC. 1, T1N, R1W

**VAN BUREN STREET**

P.O.B. P.O.C.  
S. 1/4 CORNER,  
SEC. 1, T1N, R1W  
FND. BCHH

CERRO VISTA  
ZONING BOUNDARY

EXHIBIT "A"

City of Avondale, Maricopa County, Arizona

Project No.  
25134

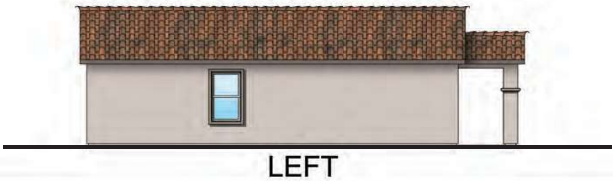
Date  
08/25/25

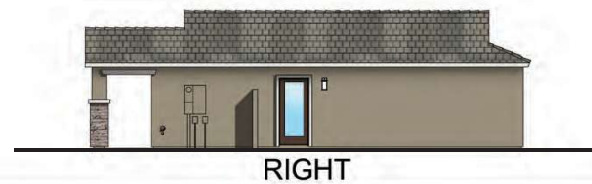
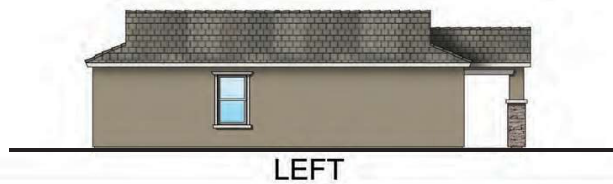
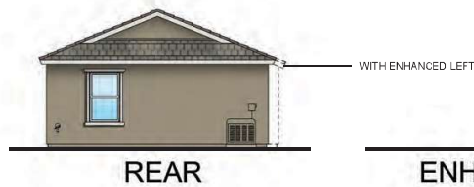
Project Manager  
ADRIAN BURCHAM

Project Eng.

Sht: 1 of 1

## APPENDIX B: CONCEPTUAL PRODUCT RENDERINGS







ENHANCED LEFT AT STREET SIDE



REAR



LEFT



RIGHT



WITH ENHANCED LEFT



ENHANCED LEFT AT STREET SIDE



GABLE PIPES WITH ENHANCED REAR AT STREET SIDE WITH ENHANCED LEFT

REAR



LEFT



RIGHT



ENHANCED LEFT AT STREET SIDE



REAR



ENHANCED REAR AT STREET SIDE



LEFT



RIGHT



ENHANCED LEFT AT STREET SIDE



REAR



LEFT



RIGHT



ENHANCED LEFT STREET SIDE



REAR



LEFT



RIGHT



ENHANCED LEFT STREET SIDE



REAR



LEFT



RIGHT



ENHANCED LEFT STREET SIDE



REAR



LEFT



RIGHT



ENHANCED LEFT AT STREET SIDE



REAR



LEFT



RIGHT



WITH ENHANCED LEFT



ENHANCED LEFT STREET SIDE



REAR



ENHANCED REAR AT STREET SIDE

WITH ENHANCED LEFT

WITH ENHANCED LEFT



LEFT



RIGHT



WITH ENHANCED LEFT



ENHANCED LEFT STREET SIDE



WITH ENHANCED LEFT

REAR

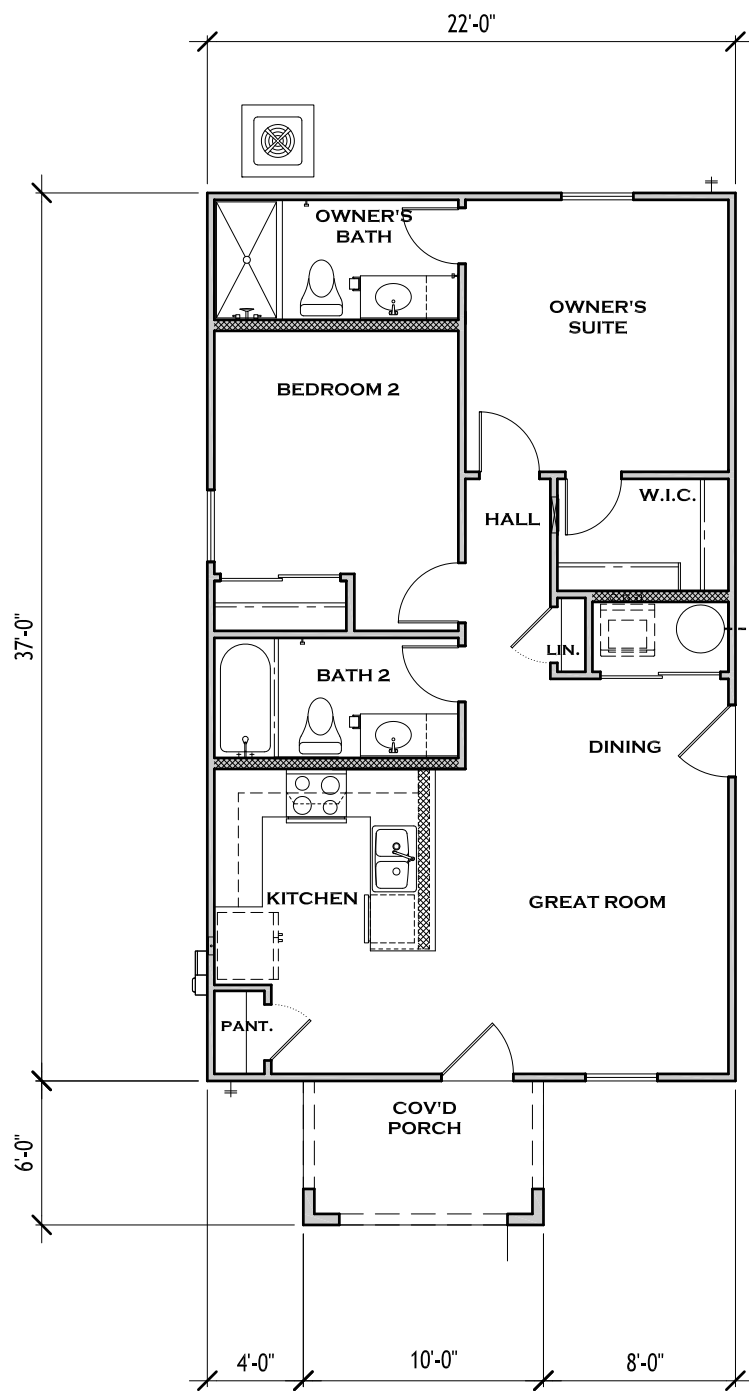


LEFT



RIGHT

## APPENDIX C: FLOORPLANS

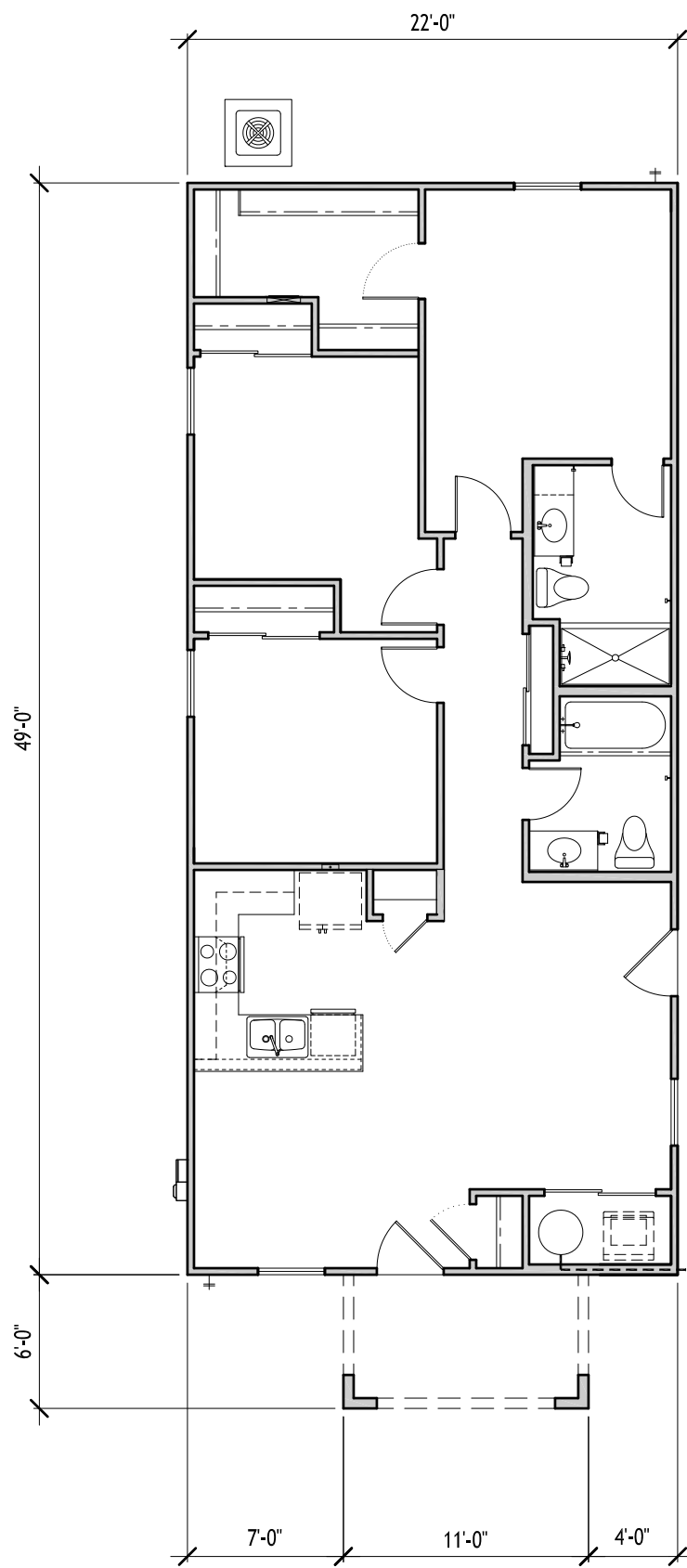


814 S.F. LIVABLE

1/8" = 1'-0"

# PLAN 2241

FLOOR PLAN A - SPANISH COLONIAL

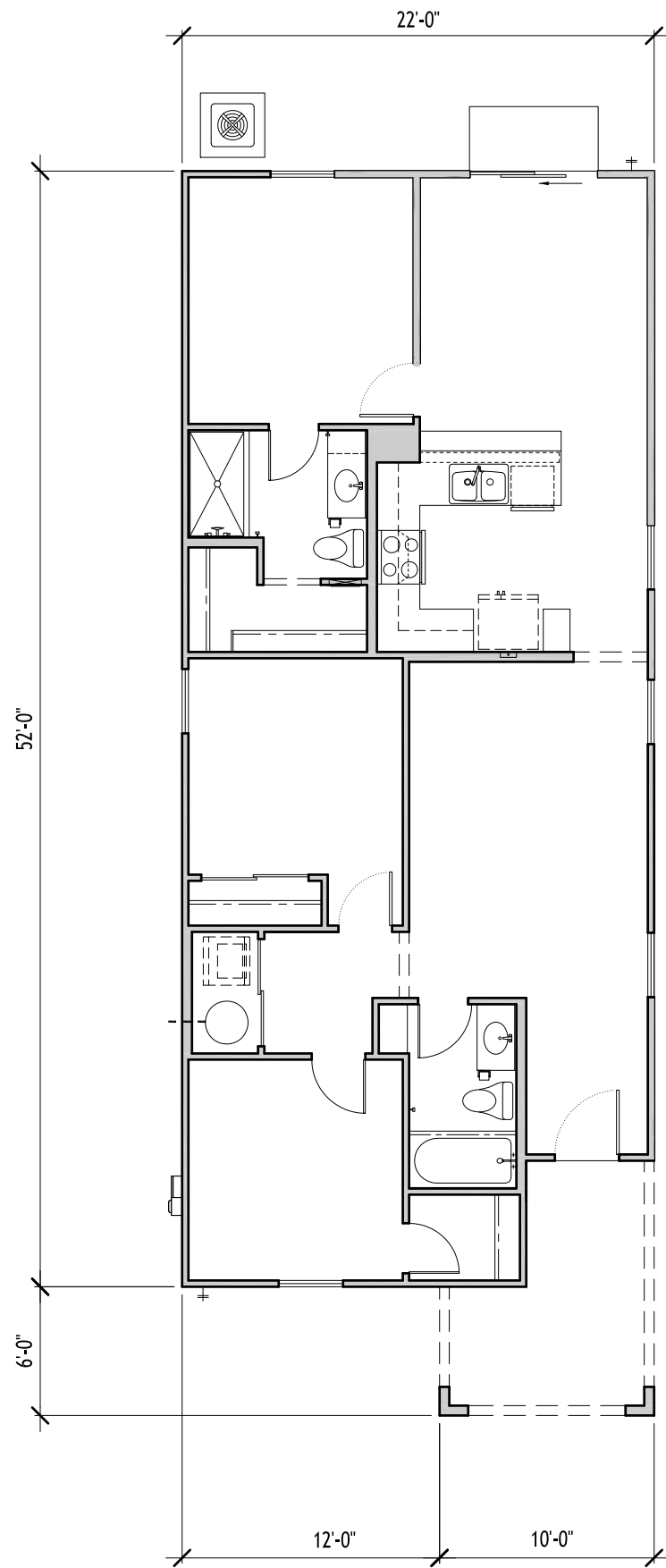


1,078 S.F. LIVABLE

1/8" = 1'-0"

# PLAN 2253

FLOOR PLAN A - SPANISH COLONIAL

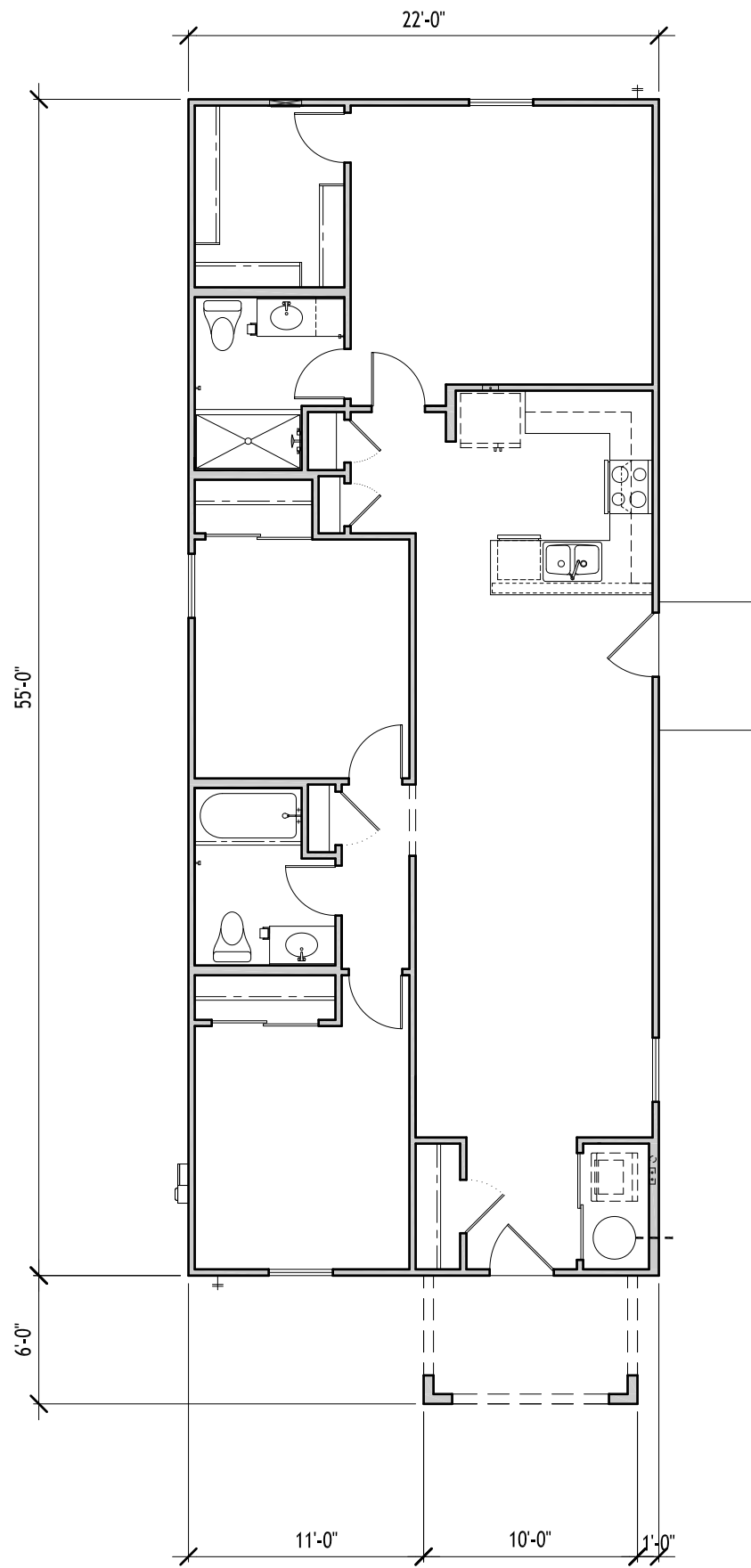


1,109 S.F. LIVABLE

1/8" = 1'-0"

# PLAN 2256

FLOOR PLAN A - SPANISH COLONIAL



1,210 S.F. LIVABLE

1/8" = 1'-0"

# PLAN 2259

FLOOR PLAN A - SPANISH COLONIAL

**PROJECT DESCRIPTION**

THIS REQUEST IS FOR AN APPROXIMATELY 1.5 GROSS, 10.1 NET-ACRE PARCEL EAST OF THE NORTH-EAST CORNER OF VAN BUREN STREET AND FAIRWAY DRIVE. THE DEVELOPMENT PLAN INCLUDES 99 SINGLE-FAMILY DETACHED RESIDENCES TO BE FLATTED VIA CONDO PLAT. THESE RESIDENCES ARE DESIGNED AS TWO AND THREE-BEDROOM SINGLE-FAMILY DETACHED HOMES, BUILT AT A DENSITY OF +/- 93 DWELLING UNITS PER NET ACRE. EACH RESIDENCE WILL HAVE MINIMUM 300 SQ.FT. PRIVATE REAR YARDS, AND MULTIPLE LOOP PATHS WILL BE PROVIDED THROUGHOUT THE COMMUNITY, CONNECTING RESIDENTS TO THE PRIMARY ARENITY.

**PROJECT TEAM**

DISCIPLINE	CONTACT INFORMATION
APPLICANT	LENNAR ARIZONA, LLC RILEY BASHR 1665 W. A. AMEDA DR., SUITE 130 TEMPE, ARIZONA 85283 485-475-8400
LANDSCAPE	RVI PLANNING + LANDSCAPE ARCHITECTURE JESSICA MILLER 4800 N. SCOTTSDALE ROAD, SUITE 1200 SCOTTSDALE, ARIZONA 85251 486-994-0994
CIVIL ENGINEER	KIMLEY-HORN ANDREW JUPP, P.E. 14846 N. SCOTTSDALE ROAD, SUITE 200 SCOTTSDALE, ARIZONA 85254 602-944-8000
ATTORNEY	BERGIN, FRANK, SMAILEY & OBERHOLTZER, LLC CAROLYN OBERHOLTZER 430 E. CAMELBACK ROAD, SUITE 210 PHOENIX, ARIZONA 85016 602-888-7160

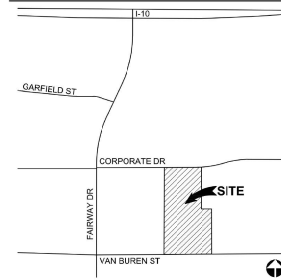
PRELIMINARY SITE PLAN  
FOR  
**CERRO VISTA**

AVONDALE, ARIZONA

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 1, TOWNSHIP 1 NORTH, RANGE 1 WEST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

**Exhibit E**  
March 18, 2026

**VICINITY MAP**



(AG)

(AG)

**SITE DATA**

SITE	DESCRIPTION
APN PARCEL #	500-01-001W & 500-01-001X
EXISTING ZONING:	R-4
PROPOSED ZONING:	R-3 PAD
EXISTING GPLU:	HIGH DENSITY RESIDENTIAL
PROPOSED GPLU:	MEDIUM-HIGH DENSITY RESIDENTIAL
GROSS PARCEL AREA:	+/- 1.5 AC.
NET PARCEL AREA:	+/- 10.1 AC.
# OF UNITS:	UNIT A: 7 UNITS (2 BEDROOMS EA.) UNIT B: 33 UNITS (3 BEDROOMS EA.) UNIT C: 30 UNITS (3 BEDROOMS EA.) UNIT D: 29 UNITS (3 BEDROOMS EA.) TOTAL: 99 UNITS (290 BEDROOMS)
GROSS DENSITY:	8.4 DU/AC
NET DENSITY:	9.8 DU/AC
PARKING PROVIDED:	297 SPACES TOTAL INCL. 104 COVERED SPACES (1 ADA) INCL. 193 UNCOVERED SPACES (2 ADA) INCL. 9 EV SPACES INCL. 37 EV READY SPACES (1.0 SPACE PER BEDROOM) (3.0 SPACES PER UNIT)
OPEN SPACE REQ.:	65,998.8 SF (15% OF NET)
OPEN SPACE PROV.:	194,892.3 SF (44% OF NET) ACTIVE: 65,998.8 SF (15% OF NET) PASSIVE: 46,899.4 SF (15% OF NET) PRIVATE: 61,394.1 SF (14% OF NET)

**LEGEND**

GROSS BOUNDARY	---
NET BOUNDARY	---
UNIT A (2 BEDROOMS)	9 UNITS 880 S.F. PER UNIT
UNIT B (3 BEDROOMS)	33 UNITS 1,144 S.F. PER UNIT
UNIT C (3 BEDROOMS)	30 UNITS 1,210 S.F. PER UNIT
UNIT D (3 BEDROOMS)	29 UNITS 1,274 S.F. PER UNIT
FIRE TURN RADIUS	5'-0" / 8'-0"

CERRO VISTA CONDOS  
PRELIMINARY SITE PLAN  
AVONDALE, ARIZONA

PROJECT NO: 2500267  
DATE: 2/25-11/26  
DRAWN: JD  
REVIEWED: JM

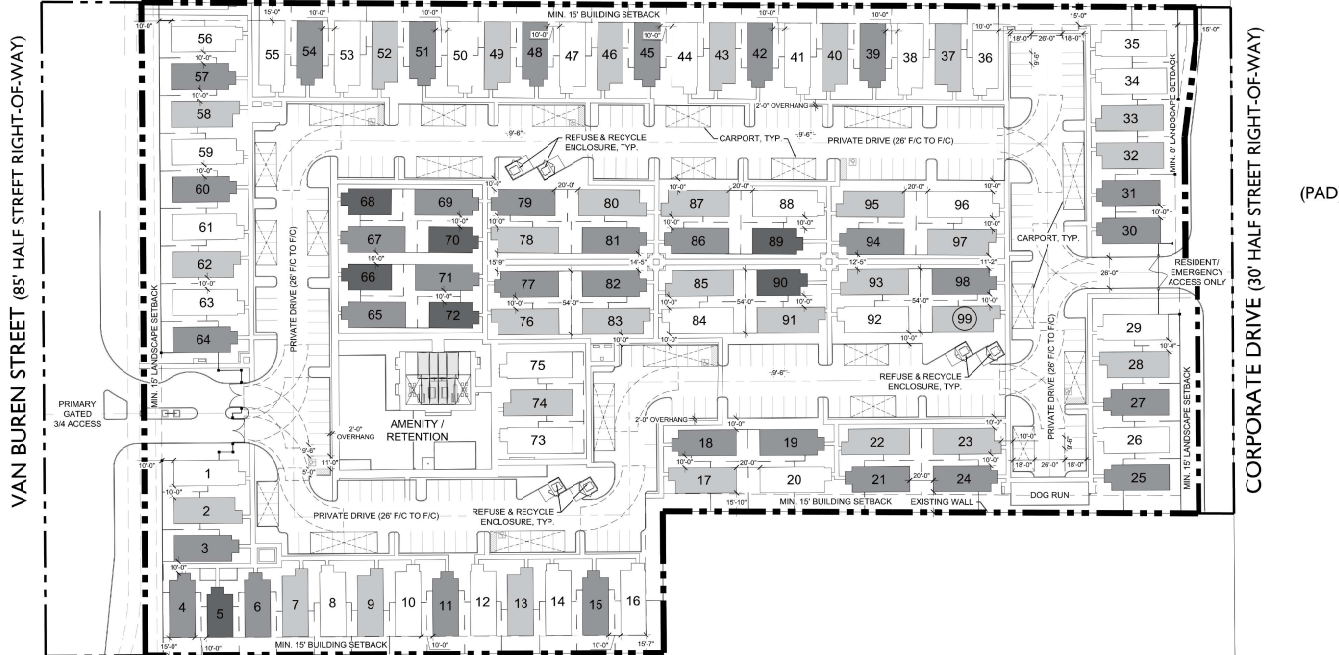
REVISIONS

1	
2	
3	
4	
5	

PRELIMINARY  
SITE PLAN

SP.1

SHEET 1 OF 4



(C-2)

PL-25-0094

## Summary of Neighborhood Meeting for

### Cerro Vista Condos

Case Numbers: PL-25-0217 & PL-25-0218

February 11, 2026 at 6:00 PM

A neighborhood meeting for a general plan amendment application and a rezone application for approximately 10.1 net acres of land located at 12104 West Van Buren Street, Avondale, AZ 85323, was held on Wednesday, February 11 at 6:00 PM. The applications propose a general plan amendment of the site to Medium/High Density Residential and a rezone to PAD with the comparable zoning district of Multi-Family Residential R-3 to allow for the development of 99 detached, single-family units. The site was posted with the meeting information, a legal advertisement was published in the Southwest Valley Arizona Republic newspaper, and notifications were mailed to property owners and HOAs within 1,000 feet of the project.

The meeting was held at Avondale City Hall located at 11465 W. Civic Center Dr., Avondale, Arizona 85323 in the Sonoran Conference Room. No members of the public were in attendance. Two City staff/elected officials were in attendance. A redacted copy of the sign-in sheet is included as **Exhibit A** in this report.

#### **Members of the development team present:**

- Carolyn Oberholtzer – BFSO Law
- Connor Peagler – BFSO Law
- Lauren Trobaugh – BFSO Law
- Riley Baehr – LENNAR
- Jessica Miller – RVi Planning

#### **City officials and staff present:**

- Cole Hunger – Senior Planner
- Curtis Nielson – Avondale Vice-Mayor

Ms. Oberholtzer opened the meeting at 6:00 PM. Vice Mayor Nielson arrived at approximately 6:03. Vice-Mayor Nielson asked Ms. Oberholtzer a few questions on the new zoning for the site, as well as the ownership structure. Ms. Oberholtzer explained that the PAD would permit condo ownership, not a rental system. They further discussed unit sizes, the development's amenities, the condo owner's association structure, and other related

topics. Mr. Baehr joined the conversation to explain the proposed development's floor plan. Vice-Mayor Nielson asked about insulation, and Mr. Baehr explained that all Avondale building code requirements would be met. Ms. Oberholtzer closed the meeting at 7:00 PM.

# Neighborhood Meeting Sign-In Sheet

Cerro Vista  
Case No. PL-25-0217, PAD Rezone PL-25-0218  
Neighborhood Meeting – February 11, 2026  
City of Avondale  
Avondale City Hall – Sonoran Conference Room  
11465 W. Civic Center Drive  
Avondale, AZ 85323

Name	Address	City & Zip Code	Phone/E-Mail
Curtis Nelson	[REDACTED]	[REDACTED]	[REDACTED]



**CERTIFICATE OF ADEQUATE SCHOOL FACILITIES**

An application for Cerro Vista Condos has been submitted to the City of Avondale, Development Services Department, for review.

Project: Cerro Vista Condos Project Manager: Riley Baehr  
 Request: 99 Single Story Condos Acreage/Parcel Size: 10.1 Acres  
 Current Density Allowed: 22.71 units/acre Density Proposed: 9.8 units per acre  
 Total number of residential units proposed: 99

As an authorized representative of the District, please complete the questionnaire below.

Does the District have adequate capacity to accommodate the estimated enrollment from the proposed development?

Yes  No

If answered no, please summarize the needs of the district as they relate to serving the students generated by the proposed development.

\$380 per 850-999 sqf unit and \$690-1,000-1,199sf.  
Additional students represent expenses related to space, resources and teachers; therefore, the Governing Board has established an Impact Agreement

Is a school site within the proposed development needed? Yes  No   
 If answered yes, how many acres is needed for the school site? \_\_\_\_\_

Is the district currently working with the developer to provide or help meet the needs identified above through a developer assistance or impact agreement? Yes  No

If answered yes, please explain below:

The developer has been in contact with our office and I have informed them about our Bbar developer Impact agreement

**\*\*If additional writing space is needed, please attach pages to this form\*\***

Date Reviewed: 7-17-2025  
 School District: Littleton Elementary School District  
 District Superintendent: Dr. Louis Laffitte Jr.  
 Phone #: 623-478-56  
 E-mail: \_\_\_\_\_

Signature: [Signature]

*It is the developer's responsibility to ensure that this form is completed by an authorized representative of the District noted above and returned to the Development Services Department prior to the scheduling of any City Council meetings.*

Closest schools: Collier Business Academy



CERTIFICATE OF ADEQUATE SCHOOL FACILITIES

An application for Cerro Vista Condos has been submitted to the City of Avondale, Development Services Department, for review.

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\_\_\_\_\_  
\_\_\_\_\_

Is a school site within the proposed development needed?

Yes  No

If answered yes, how many acres is needed for the school site?

\_\_\_\_\_

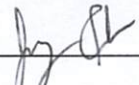
Is the district currently working with the developer to provide or help meet the needs identified above through a developer assistance or impact agreement? Yes  No

If answered yes, please explain below:

\_\_\_\_\_  
\_\_\_\_\_

**\*\*If additional writing space is needed, please attach pages to this form\*\***

Date Reviewed: \_\_\_\_\_  
School District: Tolleson Union HSD No. 214  
District Superintendent: Jeremy Calles  
Phone #: 623.478.4010  
E-mail: jeremy.calles@tuhsd.org

Signature: \_\_\_\_\_  


It is the developer's responsibility to ensure that this form is completed by an authorized representative of the District noted above and returned to the Development Services Department prior to the scheduling of any City Council meetings.

**ORDINANCE NO. 2010-0426**

AN ORDINANCE OF THE COUNCIL OF THE CITY OF AVONDALE, ARIZONA, AMENDING THE OFFICIAL ZONING ATLAS OF THE CITY OF AVONDALE FOR APPROXIMATELY ± 11.52 GROSS ACRES LOCATED AT 12104 WEST VAN BUREN STREET, AVONDALE, ARIZONA, AS SHOWN IN APPLICATION PL-25-0218, AND REZONING SUCH PROPERTY FROM R-4 MULTI-FAMILY RESIDENTIAL TO CERRO VISTA PLANNED AREA DEVELOPMENT (PAD).

**WHEREAS**, the Council of the City of Avondale (the “City Council”) desires to amend the City of Avondale Zoning Atlas (the “Zoning Atlas”), pursuant to ARIZ. REV. STAT. § 9-462.04, to change the zoning description for ± 11.52 gross acres located at 12104 West Van Buren Street, Avondale, Arizona, as shown in application PL-25-0218, from R-4 Multi-Family Residential to Cerro Vista Planned Area Development (PAD), (the “Zoning Atlas Amendment”); and

**WHEREAS**, all due and proper notices of the public hearings on the Zoning Atlas Amendment held by the City of Avondale Planning Commission (the “Commission”) and by the City Council were given in the time, form and substance provided by ARIZ. REV. STAT. § 9-462.04; and

**WHEREAS**, on March 18, 2026, the Commission held a public hearing on the Zoning Atlas Amendment, after which hearing, the Commission recommended approval by a vote of 5-0; and

**WHEREAS**, the City Council held an additional public hearing regarding the Zoning Atlas Amendment on April 20, 2026; and

**WHEREAS**, in accordance with Article II, Sections 1 and 2 of the Arizona Constitution, the City Council has considered the individual property rights and personal liberties of the residents of the City before adopting this Ordinance; and

**WHEREAS**, the City Council has considered the probable impact of the Zoning Atlas Amendment on the cost to construct housing for sale or rent and finds that the proposed Zoning Atlas Amendment will have no probable impact on the cost to construct housing for sale or rent.

**NOW, THEREFORE, BE IT ORDAINED** BY THE COUNCIL OF THE CITY OF AVONDALE as follows:

SECTION 1. The recitals above are hereby incorporated as if fully set forth herein.

SECTION 2. The Zoning Atlas Amendment is hereby approved, for ± 11.52 gross acres located at 12104 West Van Buren Street, Avondale, Arizona, as more particularly described on Exhibit A attached hereto and incorporated herein by reference, subject to the City of Avondale adopted codes, requirements, standards and regulations, and the following stipulations:

1. Except as modified by these conditions, development shall generally conform to the following items:

- a. Cerro Vista PAD Narrative, date stamped on March 18, 2026
- b. Site Plan, stamped on March 18, 2026

2. Administrative approval of the Site Plan and Design Review shall be required prior to the issuance of any building permits, in accordance with the applicable City of Avondale Multi-Family Residential Design Manual.

3. All development shall be completed in accordance with the City of Avondale General Engineering Requirements (GER) Manual and the City of Avondale Supplement to MAG Uniform Specifications and Details unless a standard deviation has been approved.

4. Commencement of horizontal construction for the project shall begin within four (4) years from the date of City Council approval, per Avondale Municipal Code Section 28-113(d) Expiration, and subject to permitted extension.

5. Prior to the issuance of any construction permits for Cerro Vista, a re-plat shall be approved and recorded to combine the individually platted lots.

6. Should the Arizona Department of Water Resources (ADWR) establish another program in the future to provide for the extinguishment of irrigation Grandfather Rights (IFGR) and conveyance of credits to municipal water providers, Avondale reserves the right to require the extinguishment of such IFGR.

7. Prior to issuance of any building permit for the project, the property owner shall submit and obtain approval and recordation of a condominium plat with public water and sewer systems provided to the private property.

SECTION 3. If any provision of this Ordinance is for any reason held by any court of competent jurisdiction to be unenforceable, such provision or portion hereof shall be deemed separate, distinct and independent of all other provisions and such holding shall not affect the validity of the remaining portions of this Ordinance.

SECTION 4. The Mayor, the City Manager, the City Clerk and the City Attorney are hereby authorized and directed to execute all documents and take all steps necessary to carry out the purpose and intent of this Ordinance.

[SIGNATURES ON FOLLOWING PAGE]

**PASSED AND ADOPTED** by the Council of the City of Avondale, Arizona,  
April 20, 2026.

---

Mike Pineda, Mayor

ATTEST:

---

Marcella Sarmiento, City Clerk

APPROVED:

---

Nicholle Harris, City Attorney

EXHIBIT A  
TO  
ORDINANCE NO. 2010-0426

[Legal Description and Map]

See following pages.

**EXHIBIT "B"**  
**ZONING BOUNDARY DESCRIPTION**

A PORTION OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 1 TOWNSHIP 1 NORTH, RANGE 1 WEST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**COMMENCING** AT THE SOUTH QUARTER CORNER OF SAID SECTION 1, BEING MARKED BY A BRASS CAP IN HANDHOLE, FROM WHICH THE SOUTHWEST QUARTER OF SAID SECTION 1, BEING MARKED BY A BRASS CAP IN HANDHOLE, BEARS SOUTH 89 DEGREES 38 MINUTES 06 SECONDS WEST, 2653.77 FEET;

THENCE SOUTH 89 DEGREES 38 MINUTES 06 SECONDS WEST, ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER, 1632.40 FEET TO THE **POINT OF BEGINNING**;

THENCE CONTINUING ALONG SAID SOUTH LINE, SOUTH 89 DEGREES 38 MINUTES 06 SECONDS WEST, 556.96 FEET;

THENCE DEPARTING SAID SOUTH LINE, NORTH 00 DEGREES 15 MINUTES 41 SECONDS EAST, 1013.26 FEET;

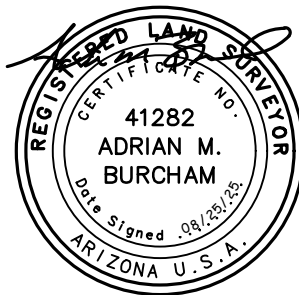
THENCE NORTH 89 DEGREES 39 MINUTES 42 SECONDS EAST, 431.09 FEET;

THENCE SOUTH 00 DEGREES 13 MINUTES 49 SECONDS WEST, 486.40 FEET;

THENCE NORTH 89 DEGREES 35 MINUTES 20 SECONDS EAST, 120.59 FEET;

THENCE SOUTH 00 DEGREES 17 MINUTES 05 SECONDS EAST, 526.72 FEET TO SAID **POINT OF BEGINNING**;

SAID PARCEL CONTAINS 501,770 SQUARE FEET, OR 11.5190 ACRES MORE OR LESS.





**HUBBARD**  
**ENGINEERING**

www.hubbardengineering.com

1201 S. Alma School Rd.  
Suite 12000  
Mesa, AZ 85210  
Ph: 480.892.3313

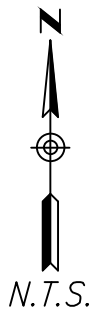
FAIRWAY DRIVE INDUSTRIAL PARTNERS LLLP

BK. 1692, PG. 5, M.C.R.

APN: 500-01-605

**CORPORATE DRIVE**

$N89^{\circ}39'42''E$  431.09'



DIXON JO ANN  
APN: 500-01-001V

$N0^{\circ}15'41''E$  1013.26'

ZONING  
BOUNDARY

$N89^{\circ}35'20''E$   
120.59'

$S0^{\circ}13'49''W$  486.40'

ES RIVER CROSSING  
STORAGE ARIZONA LLC  
BK. 1579, PG. 27, M.C.R.  
APN: 500-01-601



$S0^{\circ}17'05''E$  526.72'

464.41'

556.96'

1632.40'

SW CORNER,  
SEC. 1, T1N, R1W  
FND. BCHH

S. LINE, SW 1/4, SEC. 1, T1N, R1W

**VAN BUREN STREET**

P.O.B. P.O.C.  
S. 1/4 CORNER,  
SEC. 1, T1N, R1W  
FND. BCHH

$S89^{\circ}38'06''W$  2653.77'

CERRO VISTA  
ZONING BOUNDARY  
EXHIBIT "A"

City of Avondale, Maricopa County, Arizona

Project No.  
25134

Date  
08/25/25

Project Manager  
ADRIAN BURCHAM

Project Eng.

Sht: 1 of 1

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**ITEM NUMBER:** 6.c.

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**SUBJECT:** Public Hearing and Ordinance 2011-0426 - Rosilian Villas Major Planned Area Development Amendment - PL-25-0250

**MEETING DATE:** 4/20/2026

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**TO:** Mayor and Council

**FROM:** Jodie Novak, Director of Development Services

**THROUGH:** n/a

**REVIEWED:** Ron Corbin, City Manager, (623) 333-1011

---

**STRATEGIC PLAN:**

This agenda item supports the following Avondale Strategic Outcome Area: **Economic Growth and Prosperity**

Avondale supports a thriving local economy by fostering and supporting business growth, job creation, and workforce development. The City advances economic development, attracts high-quality entertainment and full-service amenities, and promotes a variety of attainable housing opportunities that strengthen the City's vitality.

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**PURPOSE:**

City Council will hold a public hearing to consider a request to adopt Ordinance 2011-0426, approving a request by Michelle Santoro of Gammage & Burnham for a major Planned Area Development (PAD) amendment for Rosilian Villas, an approximately 24.89-net-acre site located south of the southwest corner of Dysart Road and Van Buren Street. If approved, the request will amend the PAD, formerly known as Avondale Townhomes on Dysart, to Rosilian Villas PAD with underlying zoning of R-3 Multi-Family Residential to facilitate the development of a 291-unit duplex project and authorize the Mayor or City Manager, City Attorney and City Clerk to execute the necessary documents. The Council will take appropriate action.

**BACKGROUND:**

The approximately 24.89-net-acre subject property (Exhibits A and B) is located south of the southwest corner of Dysart Road and Van Buren Street, Assessor Parcel Number (APN) 500-12-350. The proposed major PAD Amendment does not make any changes to the remaining 2.49 gross acres of property directly adjacent to Dysart Road, APNs 500-10-894 and 500-10-895, which is intended for future commercial development.

The property was annexed into the City on March 20, 1960, and has historically been used for agricultural purposes. The subject property is currently zoned Avondale Town homes on Dysart Planned Area Development (PAD), allowing for a 296-unit single-family attached town home community along with two C-1 (Neighborhood Commercial) parcels located at the northeast corner of the PAD. The site has remained vacant since agricultural operations ceased.

The subject property is designated Medium/High Density Residential (MHDR) on the General Plan 2030 Land Use Map (Exhibit C). The MHDR designation allows for a range of residential uses, including single-family detached homes, single-family attached homes, town homes, condominiums, patio homes, and casitas in a density range of 4.0 to 12.0 dwelling units per acre (4.0 du/acre target density). The proposed duplex style apartment units (two-attached units) are allowed in this land use category.

The existing uses and zoning of the surrounding properties are as follows:

**North:** Commercial uses including the Avondale Shopping Center and a multi-tenant auto-related facility; zoned C-2 (Community Commercial).

**South:** Multi-Family Residential development, Madison Heights, a 143-unit apartment community; zoned R-3 Multi-Family Residential.

**East:** Existing Commercial uses; zoned C-2 Community Commercial.

**West:** Estrella Health and Rehabilitation Center and a vacant portion of the First Southern Baptist Church; zoned C-2 (Community Commercial).

#### **SUMMARY OF REQUEST:**

The applicant is requesting a major Planned Area Development (PAD) amendment from Avondale Town homes on Dysart PAD to Rosilian Villas PAD with underlying zoning of R-3 Multi-Family Residential to allow the development of a 291-unit duplex style apartment project, featuring a clubhouse, pool, and central lawn space with a splash pad. The PAD Narrative (Exhibit D) outlines the permitted uses, development standards, and other requirements that will guide the future development of the site.

According to the applicant, the proposed project developed by Dominion will be an income-restricted rental housing community, utilizing the federal Low-Income Housing Tax Credit (LIHTC) program. Units are restricted to households earning 60 percent or less of the Area Median Income (AMI), with long-term affordability secured through a recorded Land Use Restriction Agreement (LURA) with the State of Arizona. Ownership structure and rental status are not elements regulated through the PAD zoning; however, the applicant has indicated that the project would be maintained as long-term workforce housing. The project would be fully owned, operated, and maintained by Dominion.

The proposed 291-unit multifamily residential duplex project will be developed on approximately 24.89 net acres. Approximately 279 of the units are situated within duplex buildings, containing two dwelling units per building and each with a private backyard that averages 400 square feet. The remaining twelve (12) units are located above the single-story accessible units and have private patios of at least 100 square feet. The proposed plan includes 145 3-bedroom units and 146 4-bedroom units. The 3-bedroom units are approximately 1,316 square feet, and the 4-bedroom units are approximately 1,477 square feet in size.

A key component of the major PAD amendment is a revised site layout (Exhibit E) that includes duplex structures which are different than the prior project which had attached town homes. The PAD amendment will allow multifamily residential dwelling units, duplex residential dwelling units, and attached residential dwelling units as permitted uses replacing the current single-family attached residential townhouses use.

The duplex buildings must comply with the City of Avondale's Multi-Family Residential Design Manual and feature high-quality architectural and aesthetic design. To support the residential neighborhood concept, the project's architectural style utilizes a Contemporary Southwest style that includes six (6) different building types with up to four (4) different elevation palettes split into four distinct villages. In lieu of garages, carport parking is provided.

Primary site access is provided from Dysart Road, with secondary access from 4th Street on the west side of the property. Off-site improvements include right-of-way dedication and frontage improvements along Dysart Road and 4th Street, including a southbound deceleration lane at the primary entrance.

The project will provide 544,953 square feet of total open space, equating to 50 percent of the net site area, which exceeds both the City's 30 percent open space requirement and the 47 percent open space provided in the previously approved PAD. The primary open space amenity is the Community Commons, a large central lawn space across from the 4th Street entrance that contains a splash pad, tot lot, and shade structures.

Accompanying this are two pedestrian spines, one running north to south and the other east to west, along with six (6) smaller open space areas scattered throughout the development. Alongside the provided community open space, 279 of the 291 total units are equipped with an average 400 square foot private backyard, as compared with the minimum requirement of eighty (80) square feet per unit of private outdoor space. The remaining 12 units, situated above the single-story accessible units, will have private patios of at least 100 square feet. The primary Dysart Road entrance features the Community Hub, consisting of a clubhouse, fitness center, a pool with cabanas, and two playgrounds.

#### **CERTIFICATE OF ADEQUATE SCHOOL FACILITIES:**

The property is located in the service areas of the Avondale Elementary School District (AESD) and the Agua Fria Union High School District (AFUHSD). Students in kindergarten through eighth grade will attend Lattie Coor School located at the northeast corner of Central Avenue and La Canada Boulevard, approximately one-quarter (1/4) mile west of the subject site. High school students will attend Agua Fria High School located at the northwest corner of Dysart Road and Riley Drive, approximately one-half (1/2) mile south of the subject site. Both AESD and AFUHSD have provided signed certificates stating that each district has adequate school facilities to accommodate the estimated enrollment of new students to be generated by the proposed Rosilian Villas development (Exhibit G).

#### **PUBLIC PARTICIPATION:**

A neighborhood meeting to discuss the proposal with neighboring property owners and other interested parties was held on January 20, 2026. An overview of the discussion topics is outlined in the Neighborhood Meeting Summary, attached as Exhibit F. In addition to City staff and the applicant's team, two (2) attendees were at the neighborhood meeting, a City Council member and a member of the public. The attendees raised general questions about income restriction, estimated rent prices, provided amenities and open space, and unit accessibility, all of which were addressed by the applicant.

All required notifications for the Planning Commission and City Council public hearings have been completed. To date, one comment has been received on the City's Avondale Connect digital platform, expressing concern about not offering enough opportunities to own a home and no new grocery opportunities in Avondale.

#### **PLANNING COMMISSION ACTION:**

On March 18, 2026, the Planning Commission held a public hearing on the request for a Major Planned Area Development Amendment (PL-25-0250). There were no comments from the public.

During the discussion, the Vice Chair inquired about the timeline for the traffic signal at 4th Street and Van Buren Street. In response, City staff explained that the applicant is coordinating with Traffic Engineering and that a condition is in place that requires the signal contribution prior to issuance of the first Certificate of Occupancy. Additionally, a Commissioner asked about the intended residents for the project. Staff clarified that the project targets workforce housing, with the unit's income restricted to 60 percent of Area Median Income (AMI), though residents may remain as tenants if their income were to later exceed that limit. Staff also noted that these restrictions are not a part of the PAD zoning, but rather through separate state housing agreements. The applicant confirmed that the project intends to utilize the State's Low-Income Housing Tax Credit (LIHTC) program and will be deed-restricted for 30 years, with the restriction taking effect at the property closing and beginning of construction. After discussion, the Planning Commission passed a motion (5-0 vote) to recommend approval of the Major PAD Amendment to the City Council.

#### **ANALYSIS:**

Article 6, Section 28-113 of the Zoning Ordinance establishes five (5) findings that must be met to grant a major PAD amendment. Listed below are the five criteria and an analysis of each:

##### **1. The proposed PAD is in conformance with the General Plan and applicable specific plan(s).**

The Rosilian Villas PAD aligns with the Medium High Density Residential (4-12 dwelling units per acre) land use designation. The proposed density of 11.74 dwelling units per acre falls within this range and is slightly less dense than the previously approved Avondale Townhomes on Dysart PAD. The project advances the General Plan's goals to expand housing diversity and provide housing that is affordable to residents working and living in the City.

The PAD furthers several goals of the General Plan, most notably:

- Housing Element Goal #2, “Champion the development of housing types not currently available in the City to allow for a variety of socio-economic levels.”
- Housing Element Goal #3, “Maximize the efficiency and effectiveness of affordable housing and neighborhood stabilization programs.”

Rosilian Villas introduces a duplex-style apartment project providing workforce housing not currently prevalent in Avondale, combining attached units with private backyards and significant community amenities. This housing prototype supports Housing Goal 3 of the General Plan by increasing attainable housing options and expanding the City’s mix of residential products. The site layout emphasizes pedestrian connectivity, abundant open space (50 percent of the site), and recreational amenities, aligning with City design policies encouraging healthy, connected neighborhoods. Accordingly, the proposed PAD is consistent with and advances the goals and objectives of the General Plan.

**2. The proposed PAD meets the PAD requirements of the Zoning Ordinance, Subdivision Regulations, Design Manuals and other applicable regulations and requirements, unless otherwise modified by the PAD Narrative.**

The City’s R-3 Multi-Family Residential zoning district is the underlying zoning district used as the basis for the Rosilian Villas PAD’s development standards, with modifications to the land uses and development standards to accommodate the duplex-style project.

The proposed land uses for Rosilian Villas allow for the changes in housing product type from strictly townhomes to:

- Multi-Family Residential dwelling units
- Duplex residential dwelling units
- Attached residential dwelling units

The currently approved PAD includes an enclosed, attached two-car garage for each townhome unit. As part of the amendment, the applicant requests deviations from the design standard for multi-family residential districts that requires garages for a minimum of 25 percent of parking. In place of the garages, Rosilian Villas will provide two spaces per unit with a minimum of one of those spaces being covered, for a total of 582 resident parking spaces and 59 visitor parking spaces. Lighting, screening, wall design, landscaping, signage, drainage, and infrastructure improvements will comply with applicable sections of the Zoning Ordinance and City design manuals, as further detailed in future site plan and design review submittals. Therefore, the proposed PAD meets applicable regulatory requirements, as modified and justified within the PAD narrative.

**3. That adequate public infrastructure and services exist to serve the proposed development or all necessary public infrastructure and services to serve the proposed development will be completed in connection with development within the PAD.**

Adequate public infrastructure and municipal services currently exist in the immediate area to support the proposed development. Existing infrastructure includes a 12-inch water line within Dysart Road, an 8-inch water line within 4th Street, and an 8-inch sewer main within Dysart Road. Final connection points and system details will be determined at platting and site plan and design review. The applicant will complete all required on-site and off-site infrastructure improvements in accordance with City standards.

Required off-site improvements include right-of-way dedications, curb, gutter, sidewalk construction, a southbound deceleration lane on Dysart Road at the primary entrance, and striping improvements on 4th Street to accommodate turning movements. On-site retention will meet the City’s 100-year, 2-hour storm event standard, with runoff dissipating through drywells. Lighting will comply with City standards and minimize impacts to adjacent properties.

Based on the availability of existing infrastructure and the applicant’s commitment to complete required improvements concurrent with development, adequate public infrastructure and services will exist to serve the

amended PAD.

**4. The proposed PAD will result in compatible land use relationships within the proposed development and with adjacent properties.**

The amended PAD establishes compatible land use relationships both internally and with surrounding properties. The duplex building configuration reduces overall massing compared to the previously approved four (4)- and six (6)-unit townhome building types. Building heights remain consistent with two-story residential development typical of medium-high density neighborhoods.

Perimeter treatments, including decorative CMU block walls, view fencing, and enhanced landscaping, provide appropriate buffering and visual screening along Dysart Road and 4th Street. The primary entrance along Dysart Road incorporates a 50-foot setback for the clubhouse and approximately 100-foot setbacks for residential buildings, creating a landscaped transition from adjacent roadways.

Within the site, the organization into four distinct residential “villages,” integrated open spaces, pedestrian spines, and dispersed parking areas promotes walkability and minimizes vehicular dominance. The combination of private backyards and shared community amenities fosters compatibility between attached residential living and a traditional neighborhood character.

**5. The development standards of the proposed PAD are consistent with or exceed the desired character of development for the area.**

The development standards proposed for Rosilian Villas are consistent with the desired character of development along Dysart Road and surrounding residential areas. The contemporary southwest architectural style, including gable roof profiles, concrete tile roofing, varied color palettes, stone veneer accents, and articulated building elevations, provides visual interest and residential scale.

The project significantly exceeds minimum open space requirements, providing expansive active and passive recreation areas, a clubhouse with fitness center, pool and cabanas, splash pad, tot lots, shade structures, pedestrian pathways, and landscaped common areas.

**DISCUSSION:**

Staff recommends approval of the request for the following reasons:

- The proposed Rosilian Villas Major PAD Amendment meets the required five (5) findings for a Planned Area Development (PAD) Rezone per the Avondale Zoning Ordinance.
- The proposed Rosilian Villas Major PAD Amendment is in conformance with the proposed General Plan Land Use designation of Medium High Density Residential.
- The proposed Rosilian Villas Major PAD Amendment is in conformance with the PAD requirements of the Zoning Ordinance, Subdivision Regulations, Design Manuals, and other applicable regulations and requirements, unless otherwise modified by the PAD Narrative.
- Adequate public infrastructure to support the proposed development either presently exists or will be constructed by the developer.
- The recommended conditions of approval are reasonable to ensure conformance with the provisions of the Zoning Ordinance and all other applicable City codes, ordinances, and policies.

**BUDGET IMPACT:**

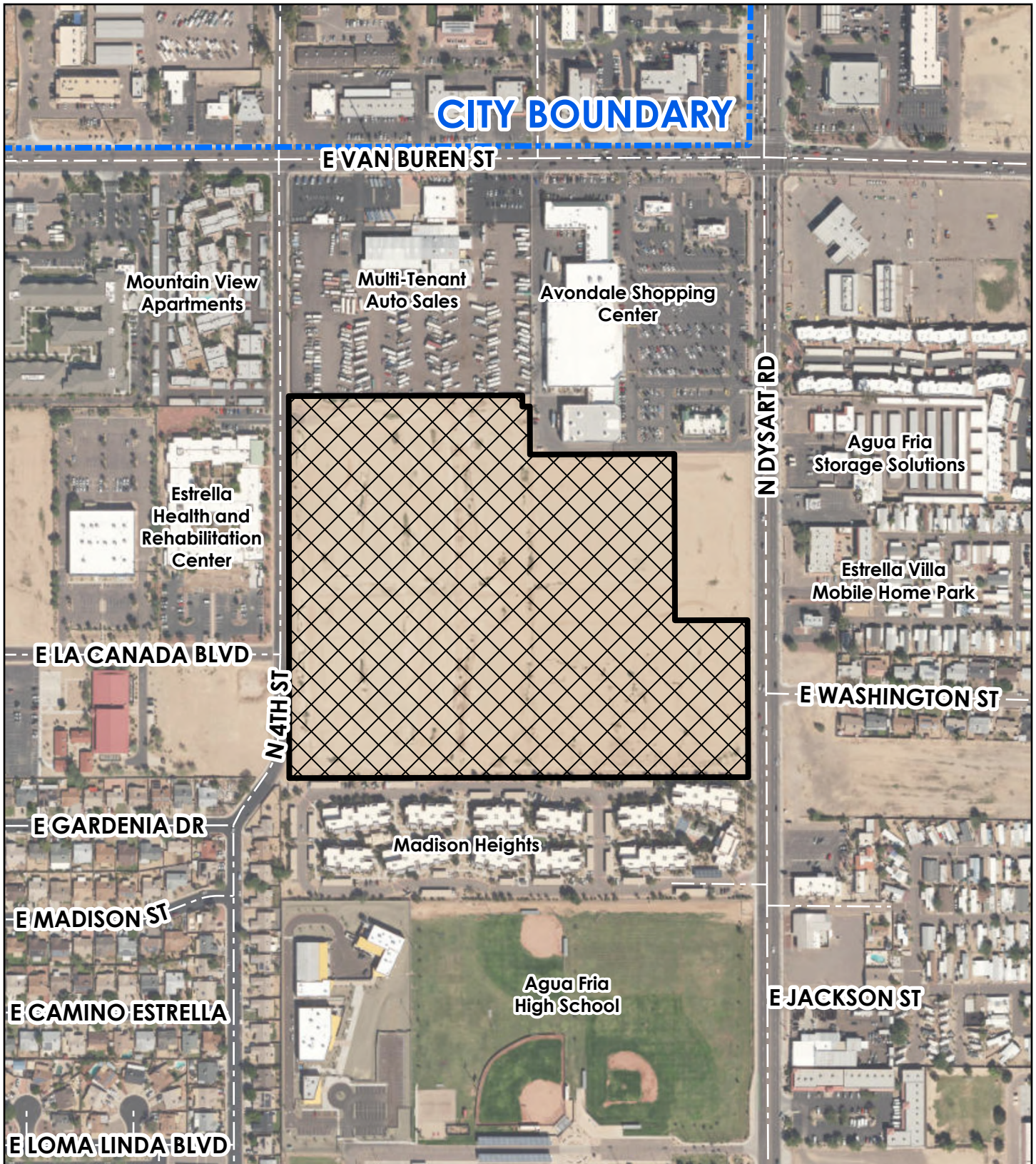
No budget impacts.

**RECOMMENDATION:**

City Council will conduct a public hearing and adopt an Ordinance for Rosilian Villas, a Major PAD Amendment request to facilitate development of a 291-unit duplex project, and authorize the Mayor, or City Manager, City Attorney and City Clerk to execute the necessary documents, subject to the following seven (7) conditions of approval:

1. Except as modified by these conditions, development shall generally conform to the following items:
  - a. Amended Rosilian Villas PAD narrative, date stamped on March 18, 2026
  - b. Site Plan, date stamped on March 18, 2026
2. Administrative approval of the Site Plan and Design Review shall be required prior to the issuance of any building permits, in accordance with the applicable City of Avondale Multi-Family Residential Design Manual.
3. All development shall be completed in accordance with the City of Avondale General Engineering Requirements (GER) Manual and the City of Avondale Supplement to MAG Uniform Specifications and Details unless a standard deviation has been approved.
4. Commencement of horizontal construction for the project shall begin within four (4) years from the date of City Council approval, per Avondale Municipal Code Section 28-113(d) Expiration, and subject to permitted extension.
5. Prior to the issuance of any construction permits for Rosilian Villas, a re-plat shall be approved and recorded to combine the individually platted lots.
6. Should the Arizona Department of Water Resources (ADWR) establish another program in the future to provide for the extinguishment of Irrigation Grandfather Rights (IFGR) and conveyance of credits to municipal water providers, Avondale reserves the right to require the extinguishment of such IFGR.
7. Prior to the issuance of the first Certificate of Occupancy, the developer shall contribute \$250,000 for a future traffic signal at the intersection of 4th Street and Van Buren Street, as per the results of the traffic impact study, or as required by the City Engineer. This contribution shall be finalized in a written agreement between the developer/owner and the City of Avondale prior to the issuance of any building or civil permits.

*Contact person for document distribution: Cole Hunger, Senior Planner*

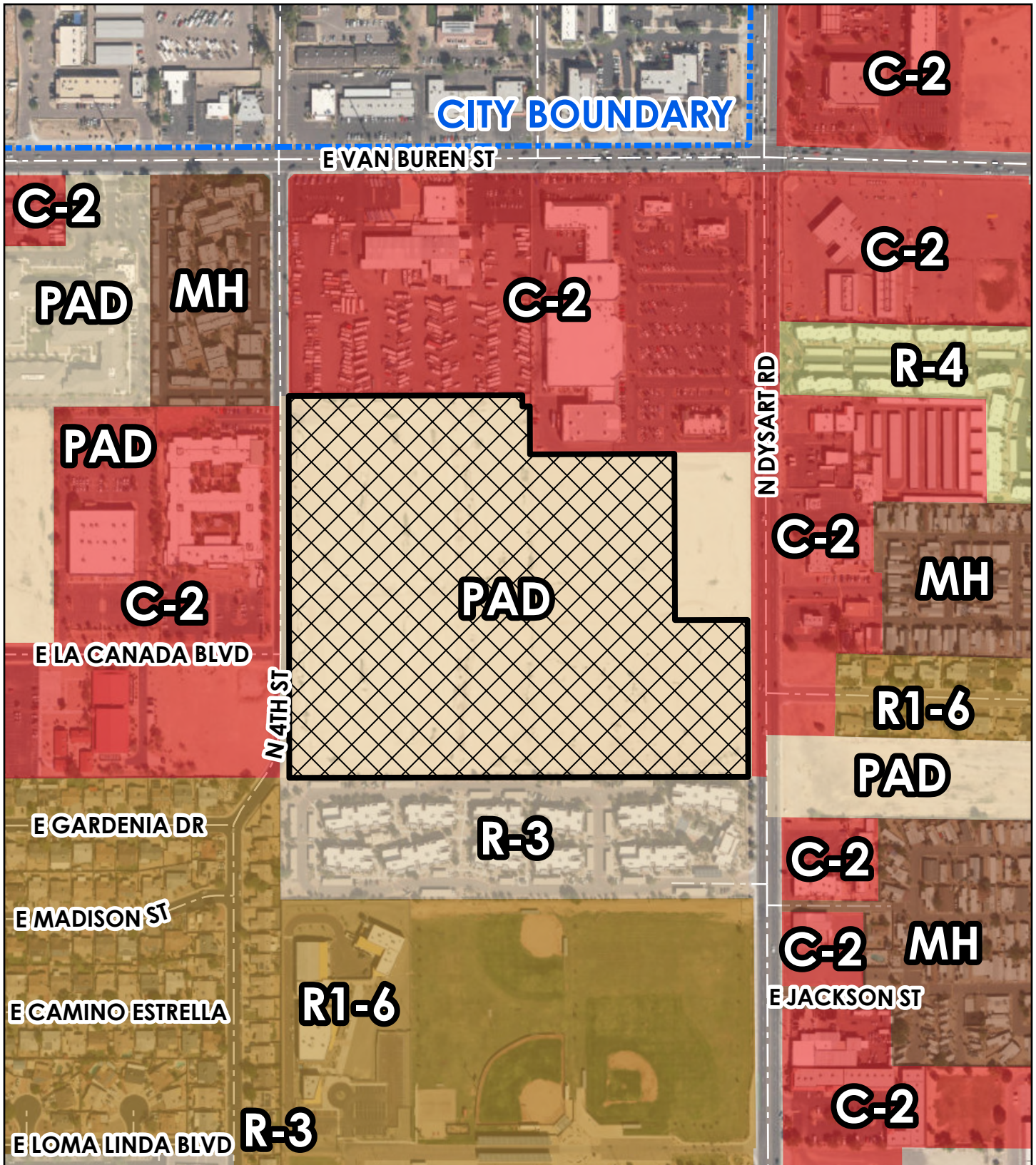


# Aerial Map



Subject Property



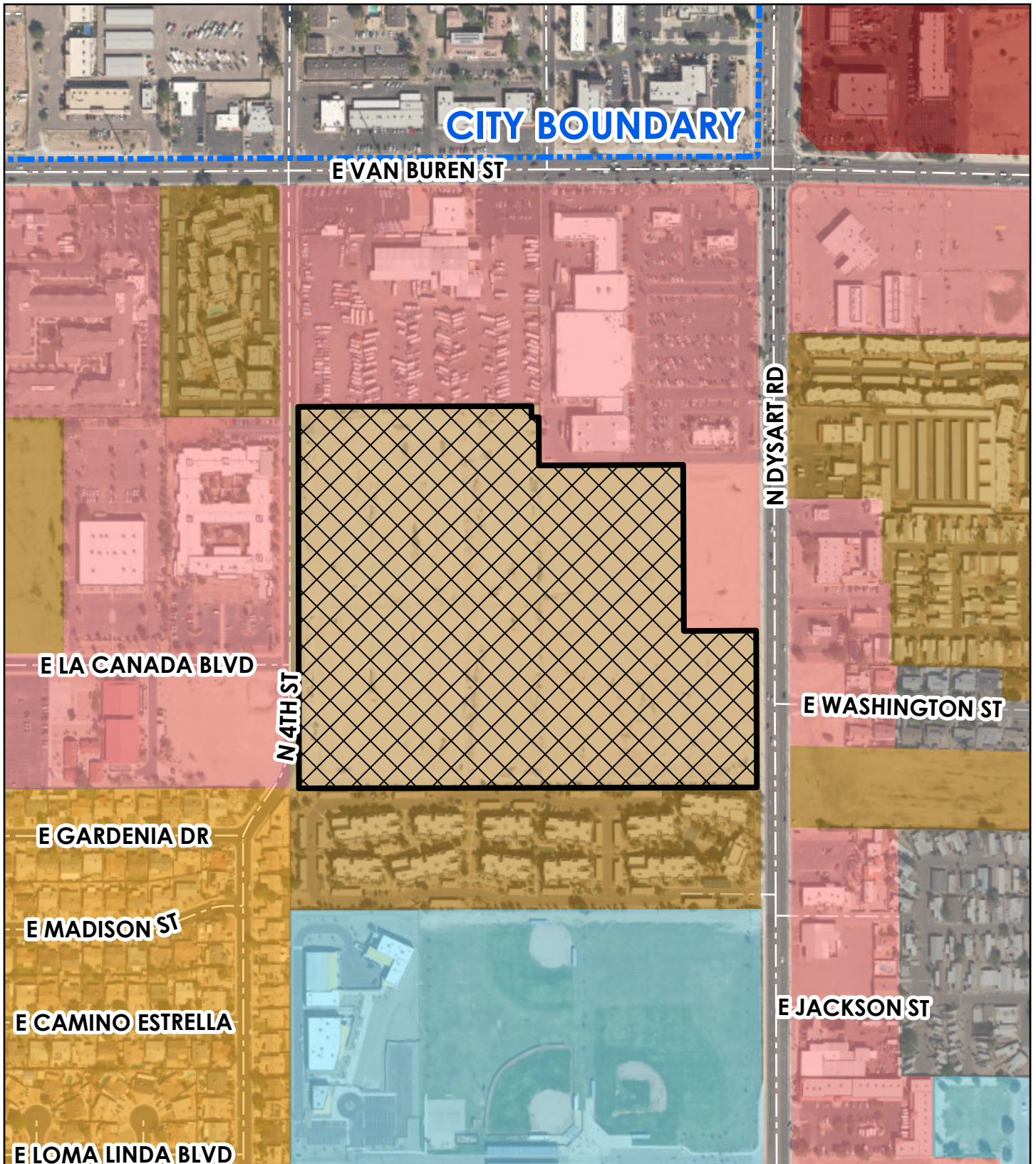


### Zoning Vicinity



Subject Property





CITY BOUNDARY

E VAN BUREN ST

N DYSART RD

E LA CANADA BLVD

N 4TH ST

E WASHINGTON ST

E GARDENIA DR

E MADISON ST

E CAMINO ESTRELLA

E JACKSON ST

E LOMA LINDA BLVD

# General Plan Land Use



- Medium Density Residential
- Medium/High Density Residential
- High Density Residential
- Local Commercial
- Industrial
- Education
- Urban Commercial



Subject Property





***ROSILIAN VILLAS***  
***MAJOR PAD AMENDMENT NARRATIVE***

***February 17, 2026***

Prepared by:  
Gammage & Burnham, P.L.C.  
Stephen W. Anderson / Michelle Santoro  
Phoenix, Arizona 85004  
602.256.0566 | [sanderson@gblaw.com](mailto:sanderson@gblaw.com) / [msantoro@gblaw.com](mailto:msantoro@gblaw.com)

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- I. Property Description
- II. Project Description
- III. Proposed Land Use Development Plan
- IV. Land Uses
- V. Development Standards
- VI. Architectural Design Criteria
- VII. Site Design Criteria
- VIII. Landscaping, Pedestrian Open Space and Amenities
- IX. Signs
- X. Infrastructure
- XI. Ownership and Maintenance
- XII. Conformance with Plans
- XIII. Master Site Plan and Site Plan Review

## List of Exhibits

- A. Aerial Context Exhibit
- B. Avondale Zoning Map
- C. Current Avondale General Plan Map
- D. Conceptual Site Plan
- E. Land Use Development Plan
- F. Conceptual Elevations
- G. Open Space Plan and Amenity Area Blowups
- H. Wall Elevations

# I. Property Description

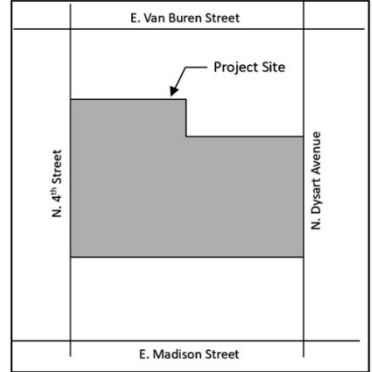
**Project Name and Address:** Rosilian Villas  
1020 N 4th Street  
Avondale, Arizona 85323

**Property Owner:** Avondale Townhomes on Dysart

**Assessors Parcel #:** 500-12-350 (Parent Parcel)  
500-10-894  
500-10-895

**Project Location:** Project is located South of West Van Buren Street and North of West Western Avenue, between North 4th Street (on the West) and North Dysart Road (on the East).

**Project Area:** **Entire Site**  
**Gross:** 28.35 Acres  
**Net:** 26.77  
**Area Devoted to Street ROW:**  
Along Dysart = 43,250 SF / .99 Acres  
Along 4<sup>th</sup> Street = 25,546 / .59 Acres



VICINITY MAP

**Parcel 1**  
Gross: 1.21 Acres  
Net: 0.96 Acres

**Parcel 2**  
Gross: 1.28 Acres  
Net: 1.02 Acres

**Parcel 3**  
Gross: 25.86 Acres  
Net: 24.79 Acres

Existing and Proposed Zoning		
	Existing	Proposed
<b>Parcel 1</b>	PAD (Planned Area Development)	PAD (Planned Area Development)
<b>Parcel 2</b>	PAD (Planned Area Development)	PAD (Planned Area Development)
<b>Parcel 3</b>	PAD (Planned Area Development)	PAD (Planned Area Development)

<b>Project Team:</b>	<b>Applicant</b>	<b>Architect</b>	<b>Civil Engineering</b>
	Dominium	Todd + Associates	Atwell, LLC
	9000 E. Pima Center Pkwy Ste. 350	4019 North 44 <sup>th</sup> Street	645 E Missouri Ave Suite 240
	Scottsdale, AZ 85258	Phoenix, AZ 85018	Phoenix, AZ 85012

**Topography:** The Site is relatively flat with the north-east corner ± 2'-0" above the rest of the site.

# I. Property Description (cont.)

## Land Use & Zoning on Adjacent and Nearby Properties

**North:** C-2 Commercial. There are several commercial stores including: a strip mall with a Food City and Harbor Freight, fast food restaurants including Filiberto's, KFC, Whataburger and mi Hut, and small retail shops.

**East:** There are small commercial shops including Jiffy Lube, Auto Action Car dealership, and a Liquor Store.

**South:** R-3 Residential. Directly to the South is Madison Height Apartment Homes and the Agua Fria High School.

**West:** C-2 Commercial and MH (Manufactured Homes). Located to the West, across 4<sup>th</sup> Street and North of E. La Canada Blvd. is the Estrella Center, a skilled nursing facility. North of that is Mountain View Apartments, a MH (Manufactured homes) community.

For more information please see attached Exhibit A – Aerial Context Exhibit, Exhibit B – Avondale Zoning Map, and Exhibit C – Current Avondale General Plan Map.

# II. Project Description

## 1. Overall description of the project, including the project theme and intended character of the development:

Dominium (“Dominium” or the “Applicant”) is one of the nation's largest and most innovative development companies focused on workforce housing communities. Dominium's proven approach is to focus on meeting the needs of any given community by fulfilling a need for housing while also providing an excellent living experience for its residents. Dominium takes pride in designing architecturally beautiful communities with high-quality finishes and amenities and providing excellent customer service that creates long-term value for its residents, cities, and its financial stakeholders. Dominium's superior reputation is built on track record in developing and managing residential rental communities, and expects to be the Country's pre-eminent private developer, owner, and property manager of workforce housing. They have been focused on real results and long-term value for over 50 years, with over 220 properties in their national portfolio. Dominium is excited for this opportunity to transform a vacant, speculatively entitled site into a thriving community of workforce housing that will fill the gap in the housing market for the City of Avondale.

Rosilian Villas is designed to be a high-quality, affordable duplex neighborhood with a future retail component (please see Exhibit D - Conceptual Site Plan). The community will provide abundant open space, both common and private, and amenities. One main area, at the Project entry, will be the Community Hub, with a clubhouse and fitness center, a pool and cabanas. The other main area, at the center of the Project, will be known as the Community Commons, with a splash pad, a tot lot with a shade structure, and a central lawn. There will be two pedestrian spines, one running north-south through the Community Commons and the other running east-west and starting at the Community Hub. There are six (6) smaller open space areas scattered throughout the Project and linked by a series of pedestrian walkways.

The overall physical design is intended to foster community among neighbors while allowing a sense of privacy. The majority of units (279 duplexes) have a private backyard that averages 400 square feet. The remaining units (12 second story flats) each have large private patios that are at least 100 square feet. These 12 second story flat units are located above single-story accessible units.

The proposed plan includes 145 3-bedroom units and 146 4-bedroom units, for a total of 291 units. Each 3-bedroom unit is 1,316 sq ft plus an average 400 sq ft backyard (except for the 12 units noted above). The 4-bedroom units are 1,477 sq ft with an average 400 square foot backyard.

There are 2 entrances to the residential portion of the development; one on North 4th Street and the other on North Dysart Road. Internal residential streets will be 26' wide. Fifty-nine (59) guest parking spaces are interspersed throughout the development for easy access to any unit.

The architectural style for this development utilizes a Contemporary Southwest style with clean lines, simple massing forms, gable roof profiles and complementing accents such as windowsill pop-outs. The gable roof structure furthers the suburban residential theme and uses complimentary color concrete tile material. The roof overhangs and contemporary light fixtures complement the fenestration creating a very clean and rich look for the buildings.

The Rosilian Villas includes 50% open space and high-quality amenities for an active community lifestyle. Amenities include a pool in the Community Hub and a splash pad in the Community Commons, each with shade structures. The Community Hub will have tot lots for two age ranges and the Community Commons will have a tot lot adjacent to the splash pad. The Community Hub also features a clubhouse with fitness area. All open spaces and amenities will be well-connected and easily accessible via internal pathways.

Both the originally approved PAD and this proposed PAD amendment utilize two-story physical homes with vertical party walls dividing units. The proposed configuration is 2-story duplexes with a single shared wall where the previous approvals had up to 4 and 6 units per building with several shared walls.

**2. Justification for any increase in density and/or land use intensity from the General Plan Land Use Plan expectations. Please clearly define how this project exceeds City required standards to justify these changes:**

The Property is identified within the City of Avondale General Plan with a land use designation of "Medium-High Density 4 to 12 DU/AC". The proposed Project fits perfectly within this category with a density of 11.74 DU/AC. This density and number of units is less than was previously approved.

**3. Total number of dwelling units and density:**

The Applicant's proposal is slightly less dense than the approved PAD density.

291 Units / 24.79 Acres = 11.74 DU/AC

## III. Land Use Development

### 1. Land Use Development Plan:

Please find the proposed Land Use Development Plan including major access points, circulation patterns and general land uses, attached as Exhibit E.

### 2. Traffic Analysis:

Please find the Traffic Impact Statement to support the major access points and circulation patterns attached as Exhibit K.

### 3. Phasing Plans:

There are no plans to phase this Project. There are no proposed amendments being made to commercial portion of the PAD.

### 4. Circulation System:

Please find the proposed Circulation System for the site and its relationship to existing or planned streets in the adjacent areas attached as Exhibit E, Land Use Development Plan.

## IV. Land Uses

**The following uses shall be permitted in this PAD:**

- Multi-family residential dwelling units;
- Duplex residential dwelling units;
- Attached residential dwelling units
- Accessory uses and buildings incidental to the principal use such as clubhouse, swimming pool, community building and garages
- Private and public parks and private or public recreation facilities
- Community recreational facilities of a non-profit nature when associated with a residential project
- Home occupations in accordance with the Avondale Zoning Ordinance
- Commercial Parcels at the Northeast corner to follow C-2 Development Standards and Uses

**Prohibited uses:**

- Any other use not expressly permitted herein

**Purpose, improvement, ownership, and maintenance of common areas and facilities and how these contribute to the intended character of the development:**

The entire Property will be owned, operated and maintained by the Applicant to ensure consistency and conformance with the intended character of the proposed development.

## V. Development Standards

Proposed Rosilian Villas Development Standards		
Development Standard	Avondale R-3 Zoning District	Rosilian Villas Standard
Maximum Units Allowed	1 unit per 3,630 sf/ net site area	291
Minimum Lot Width	50'0"	± 420'3½"
Minimum Lot Depth	100'0"	± 652'7½"
Maximum Height	30'0"	28'0"
Maximum Building Coverage	45%	28%
Minimum Front Setback	25'0"	20'0"
Minimum Total Side Setbacks	15'0"	15'0"
Minimum Side Setback	15'0"	15'0"
Minimum Rear Setback	15'0"	15'0"
Minimum Street Side Setback	20'0"	20'0"

### Additional Development Standards

**Lighting:** Minimization of light pollution is an important consideration, therefore all exterior lighting for the common open space areas, development entries and adjacent to the internal streets will comply with Section 28-137: Outdoor Lighting. A photometric plan will be provided in a later submittal. All lighting will be placed to direct light away from the adjacent residential district and will not exceed one-foot candle at the property line. No noise, odor or vibration will be emitted at any level exceeding the general level of noise, odor or vibration emitted by uses in the area outside of the site.

**Screening:** All equipment to be ground-mounted. Equipment placed within private backyards, screened by backyard walls.

**Walls and Fences:** All walls and fences will meet Section 28-297 of the Avondale Zoning Ordinance and the “Multi-Family Residential Development” section of the City of

## V. Development Standards (cont.)

Avondale’s Design Manual for Commercial, Industrial, and Multi-Family Residential Development.

**Parking Deviation and Justification:** All parking counts and parking stall dimensions will meet Article 8 of the Avondale Zoning Ordinance. Section 28-164 requires duplexes to provide “2 spaces/unit (Minimum 1 covered space.)”. Rosilian Villas meets this requirement.

Separately, Section 28-36(b)(5)(C) of the Zoning Ordinance requires that “Garage parking shall be provided for a minimum of twenty-five (25) percent of parking, excluding visitor parking, in apartment developments with one hundred (100) or more dwelling units.” Dominion will provide no garages here. To reiterate, Dominion has chosen private backyards and bedrooms over garages because its residents do not need garages. Resident parking at our affordable communities averages roughly 1.4 cars per unit, projecting to about 407 cars for this project. To meet the City’s requirements, our site plan currently shows 582 parking spaces (a combination of covered canopy parking and open uncovered parking) and 59 guest spaces, which are dispersed across the site to allow accessibility throughout the Project. We fully expect this community to have a significant surplus of parking. Cars are not just an affordability issue for our residents, they also add cost to an affordable housing project. Garages for these homes would cost roughly \$3.5 million, adding unnecessary costs to a project that already is facing the need to develop a private sewer lift station to address the Property’s relationship to the City’s shallow sewer infrastructure in the neighborhood. Dominion would rather focus on providing a splash pad, playground structures, shade ramadas, and community space that all residents will benefit from. These amenities are more broadly utilized and preferred by residents over garages and come at no additional cost to them. Nearby communities that offer garages typically charge residents \$100–\$150 per month to rent them. For families earning 60% of the area median income (\$67,320 for a four-person household), this additional expense reduces resources available for essential needs such as groceries, gas, childcare, etc. Requiring developers to construct amenities that are not strongly demanded by the market increases housing costs and limits a developer’s ability to invest in features that directly benefit residents. Dominion’s approach prioritizes accessible, cost-effective amenities that enhance quality of life without imposing additional financial burdens to residents.

In place of clogging up the community with garage buildings, Rosilian Villas is providing a private backyard for nearly every family and home. In designing an affordable workforce housing neighborhood, prioritizing community livability is paramount. The elimination of the garage requirement is offset by the allocation of extensive open space through the development. This approach not only aligns with the goal of maintaining affordability but

also enhances the overall quality of life for the residents. The extensive open space fosters social interaction, promotes physical activity and provides safe areas for children to play elements that are often lacking in workforce housing. In a multi-family setting, where homes are already compact, this emphasis on open space creates a sense of expansiveness and freedom, enhancing the perceived value and resident satisfaction.

**Proposed screening, buffers, and transitions to uses on adjacent property and overall compatibility with existing and future land uses in the area:** The residential development will include perimeter walls that will be composed of a variety of materials including decorative CMU block wall, CMU block wall, and steel view fencing to create a pleasing perimeter view.

An inviting view will be created on the Dysart street frontage by setting the Leasing/Clubhouse back 50' and the residential buildings back roughly 100' from the dedicated ROW and creating a lush, inviting landscaped entry into the site. Upon arrival, visitors will have a view of the amenities near the entrance such as the clubhouse, and pool area with covered patio and cabanas, etc. The 4th street frontage will be screened using visually-inviting view fencing and lush landscaping that will screen the units facing 4th Street.

**How Rosilian Villas development standards exceed City standards:** Development standards require 20% of open space, while the developmental plan provides more than double that, with 50% of open space. Additionally, the City requires a minimum of 80 SF of private open space per unit. Rosilian Villas actually provides a private backyard that averages 394SF to all but 12 units, well above the 80SF requirement. Those 12 units without the individual backyards are located on the 2<sup>nd</sup> floor, above the ADA units, and have private patios that are 100SF, again above the minimum requirements.

## VI. Architectural Design Criteria

### 1. Architectural Character

The architectural character of the development plan is based on the concept of having intimate duplex homes that are spacious in design, with an open concept for the family room/kitchen to allow for quality time spent together.

The buildings have been designed with multiple areas of projections and recesses to reduce the perceived bulk and to provide contrast and shade. first floor elements are designed to create a residential feel, as opposed to a typical multi-unit complex.

To reinforce the walkable neighborhood concept, the project includes four distinct villages, each featuring a unique color scheme and style. Every village, along with the community center, incorporates open spaces, amenities, and parking, with continuous open areas prioritized over vehicular traffic throughout the Site.

### 2. Style

The architectural style for this development utilizes a Contemporary Southwest style with clean lines, simple massing forms, gable roof profiles and complementing accents such

as windowsill pop-outs. The gable roof structure furthers the suburban residential theme and uses complimentary color concrete tile material. The roof overhangs and contemporary light fixtures complement the fenestration creating a very clean and rich look for the buildings.

### **3. Required features and common design elements**

The proposed site development is in Avondale's Dysart Road Commercial District, which is comprised of properties adjacent to Van Buren Street and Dysart Road. Both of these streets are characterized by auto-oriented commercial uses, the majority of which were developed after 1960.

As detailed above, the Applicant provides a wide variety of common area open spaces throughout the Project and is using a Village approach to ensure architectural patterns and variety simultaneously throughout the Project.

### **4. Building Mass**

This PAD proposes duplexes, which completely opens up the Project, allowing light and space into the community. These improvements create site lines and pedestrian accessways for the enjoyment of residents. The previously approved PAD had larger 4 and 6-unit buildings with significantly larger massing.

### **5. Building Materials**

The building material for the duplexes will be comprised mostly of a smooth sand finish stucco, with stone veneer accents and decorative foam accent trim pieces to accentuate the architectural style of the project.

### **6. Color Palette**

Four different color schemes are proposed for the residential buildings, with a fifth for the clubhouse, both using a cream base color but each with contrasting gray, rust or brown color for the trim and wainscoting. Architectural materials proposed for the homes follow the theme set by the clubhouse and include a skip trowel finish stucco body. All windows include stucco pop-outs or shutters and all units feature concrete tile roofing.

### **Sample Conceptual Elevations**

Please find the sample conceptual elevations attached as Exhibit F.

## **VII. Site Design Criteria**

### **1. Building Orientation**

The overall physical design is intended to foster community among neighbors while allowing a sense of privacy that comes with the traditional single-family residential neighborhood. Each home has an inviting front entry and spacious private rear yard.

## 2. Parking

Per the City's parking code for duplexes each home includes 2 parking spaces, with covered spaces available for rent. A total of 59 guest parking spaces, including accessible spaces, are interspersed throughout the development for easy access to any unit.

## 3. Screening

Each unit will have a painted CMU block wall screening their yard to allow privacy. Landscaping will be utilized in front of all visitor parking spaces to screen the headlights of those who come to visit family and friends.

## 4. Walls

All walls shall meet Section 28-297 of the Avondale Zoning Ordinance and the guidelines in the City of Avondale's "Multi-Family Residential Development" section in the City of Avondale's Design Manual for Commercial, Industrial, and Multi-Family Residential Development.

# VIII. Landscaping, Open Space & Amenities

## 1. Landscape Theme and Details

The premise behind the landscape design is to create a vivid palette of colors and texture that not only highlights the architecture but provides visual stimulus to anyone walking through the development. Utilizing drought-tolerant plants and succulents, the goal is to provide a year-round tapestry of colors that will never be dormant. The plant material and layout will complement the structure while evoking a cooling oasis of colorful greenery. The open space areas will have a mixture of desert-themed landscaping, shade trees, and grass turf areas for retention and recreation.

## 2. General description of open space and how it contributes to the desired character of the development and requirements for pedestrian and open space amenities.

The development's open spaces allow for a safe and active lifestyle for the residents and their guests. The open space areas will have a mixture of desert-themed landscaping, shade trees, grass turf areas for retention and recreation, a walking path and a playground (tot lot).

The pedestrian paths throughout the development will feature enhanced landscaping, differentiated paving and lighting to make the pathways shaded, pleasing and safe. The aim is to encourage residents to walk to and enjoy the abundant on-site amenities.

### 3. Design concept for entry features.

The main entry off Dysart road will provide the end user a sense of arrival by experiencing lush landscaping, colored stamped concrete auto-courts, vibrant community signage directing the user to their destination, and arriving to the community pool where they will experience families enjoying the Project's amenities. The entry off 4th Street will be utilized as a secondary entrance with full access to the project, providing lush landscaping, colored stamped concrete auto-court, vibrant community signage directing the user to their destination, and a vehicular turn-around. Address directories will be provided at each entry to the project.

### 4. Design concept for perimeter walls and signs.

The residential development will consist of perimeter walls that will be composed of decorative CMU blocks / iron work to create a pleasant view fence. Building address signage/identification will meet the requirements of Article 9 of the Zoning Ordinance. Address directories will be provided in the landscape islands at each entryway at Dysart and 4th Street to allow visitor access to the community.

### 5. Table identifying the following information for each landscape tract:

This information will be available in Site Plan and Design Review submittal.

### 6. Exhibit showing amenities of active open space tracts.

Please find the amenities for the open space tracts attached as Exhibit G.

## IX. Signs

### Signs

All signage shall comply with the standards included in the Avondale Zoning Ordinance, Section 9 for multi-family zoning districts. Signage shall be submitted for approval under a separate permit.

## X. Infrastructure

### 1. Road improvements, right-of-way, easements

As required, the project will dedicate / construct 50' half-street right-of-way improvements or modifications along Dysart Road (if not already dedicated) and a 25' half-street right-of-way improvements or modifications along 4th Street.

### 2. Utilities

**Water** – The City of Avondale is the water service provider for the project. Existing water system infrastructure relevant to the project includes an existing 12" DIP (Ductile Iron Pipe)

water line in Dysart Road and an existing 8" ACP (Asbestos-Cement Pipe) water line in 4th Street. It is anticipated that the water system will be located within roadways. This is more thoroughly outlined in the preliminary master water report.

**Sewer** - The City of Avondale is the wastewater service provider for the project. There is an existing 8" VCP sewer main located in Dysart Road. Precise locations for connections and networks shall be determined at the platting and/or site plan phase. All infrastructure related to sewer services will be completed as approved during the platting and/or site plan phase. This is more thoroughly outlined in the preliminary master sewer report.

### **3. Grading and Drainage**

The on-site retention requirements shall be per City of Avondale standards and will meet the 100 year 2-hour storm event and dissipate the runoff through drywells. Please see Preliminary Master Drainage Report.

### **4. Required Off-Site Improvements**

Off-site improvements will include curb, gutter and sidewalk along Dysart Road and 4<sup>th</sup> Avenue. Additionally, a southbound decel lane will be provided on Dysart Road at the main entrance to the project and striping within 4<sup>th</sup> Avenue to provide for left turns into the secondary entry.

### **5. Proposed Phasing Plan**

We are not planning to propose phasing plans.

## **XI. Ownership & Maintenance**

### **1. Purpose, improvement, ownership, and maintenance of common areas and facilities and how these contribute to the intended character of the development.**

The entire Property will be owned, operated and maintained by the Applicant to ensure consistency and conformance with the intended character of the proposed development.

### **2. General description of proposed conditions, covenants, and restrictions that will be enforced by the property owners' association.**

Not Applicable

## XII. Conformance with Plans

### 1. How the proposal meets the goals and objectives of the General Plan and any applicable Specific Area Plan.

The proposed development plan incorporates several of the City's Design Manual's policies to create a layout with ample open space and recreation areas that contain amenities and trails throughout the project. Homes are oriented to face each other, face the amenities and provide internal streets, with abundant open space for families to enjoy the community.

The proposed development also provides a housing type that is prominent within the Valley but not yet developed in the City of Avondale; the duplex setting provides an attached home with private yards, while also promoting the use of the neighborhood common and amenity areas. This creates more of a "sense of place" within the neighborhood and encourages community interaction. This aligns with the General Plan's desire to "develop diverse housing options, to include both housing that is affordable to working and living in the City..." and to create a greater mix of housing. It also aligns with Housing Goal 3 to create more affordable housing, including by developing new prototypes of residential housing.

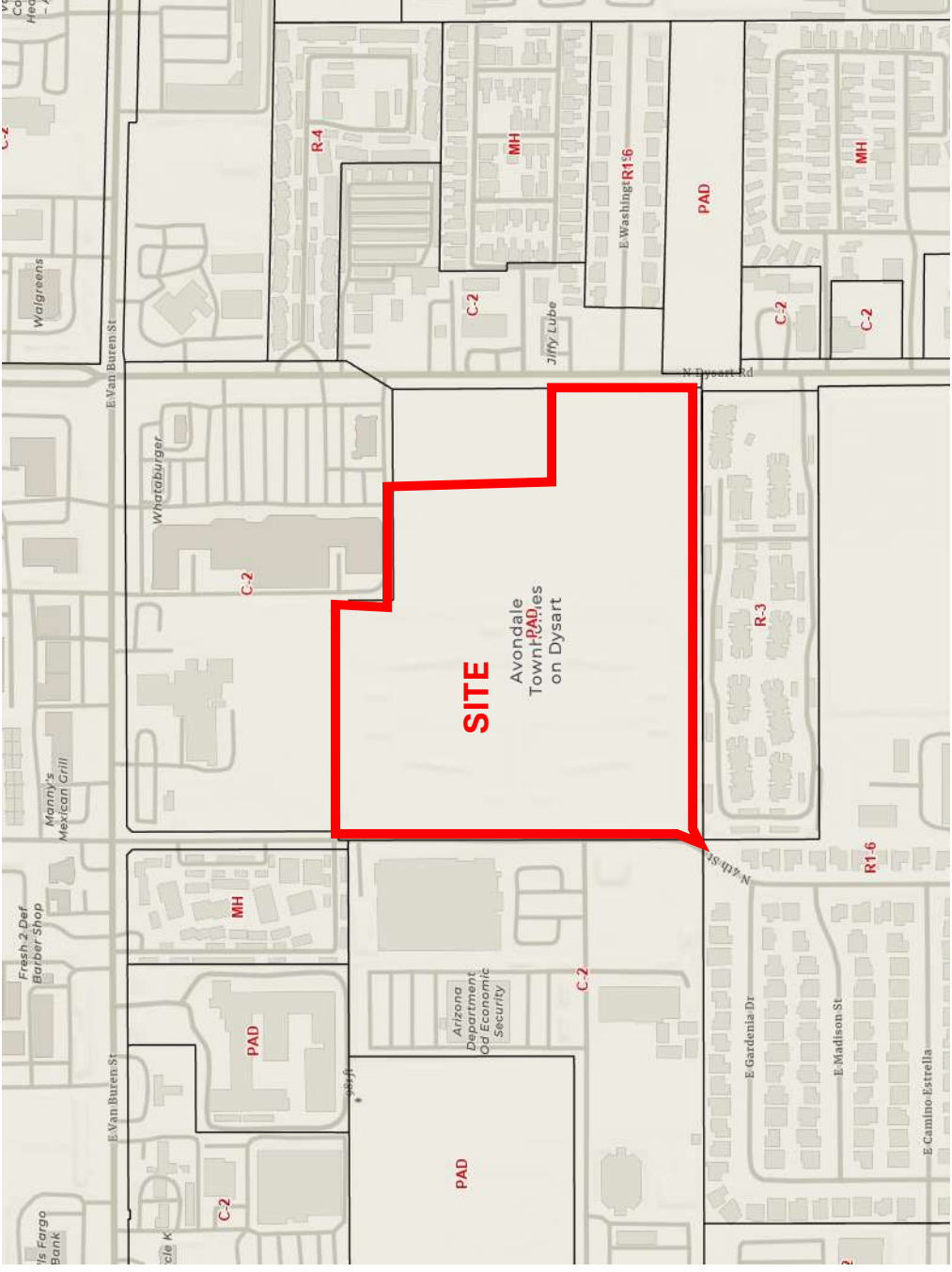
The development provides 50% total open space area which includes active, private backyards and passive open space areas for residents, with common areas that incorporate natural vegetation consistent with surrounding developments. The common open space areas are linked with pedestrian connection and the adjacent commercial area to support a healthy lifestyle and promote connectivity. Additionally, the high-quality amenities including the clubhouse leasing office and fitness center, pool, splash pad, tot lots, two spine trails and numerous open spaces, provide residents with a multitude of active spaces to maintain a healthy lifestyle.

# EXHIBIT A



Aerial Context Exhibit

# EXHIBIT B



Avondale Zoning Map

# EXHIBIT C

## Land Use

- Rural Low Density Residential\*
- Estate/Low Density Residential\*
- Medium Low Density Residential\*†
- Medium Density Residential\*
- Medium/High Density Residential\*
- High Density Residential\*
- Freeway Commercial
- Urban Commercial
- Local Commercial
- Old Town
- Sports and Entertainment
- Office/Professional
- High Intensity Office
- Industrial
- Business Park
- Gila River Scenic District
- Open Space and Parks
- Public/Civic
- Education
- Mixed Use
- Resort



# EXHIBIT D



# EXHIBIT E

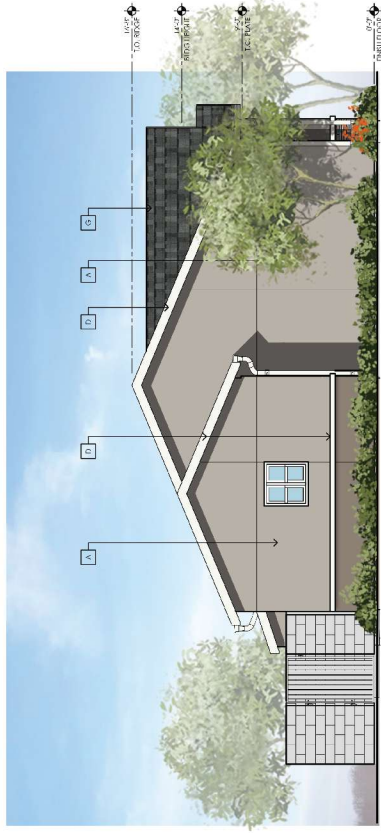


# EXHIBIT F



3 REAR ELEVATION

SCALE: 1/4" = 1'-0"



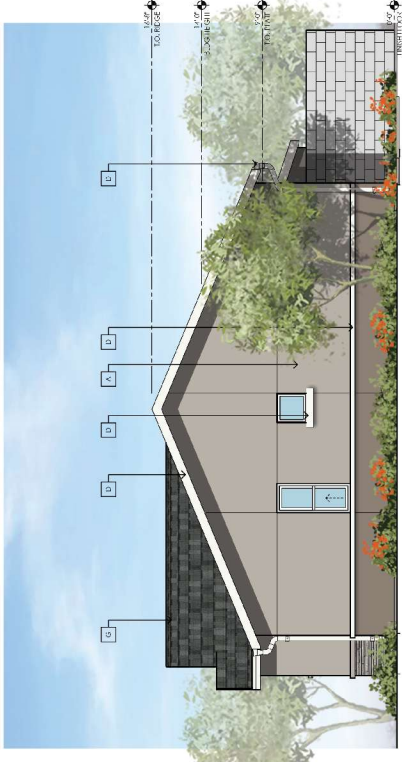
4 LEFT ELEVATION

SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

**PALETTE C - MATERIAL LEGEND**

A	PRIMARY STUCCO COLOR REGISSE GRAY SW7023
B	ACCENT STUCCO COLOR Sereni White SW9504
C	BASE STUCCO COLOR Sereni White SW9504
D	FASCIA STUCCO COLOR Sereni White SW9504
E	DOOR - MISC. COLOR FAVORITE BEANS SW 9147
F	STONE VENEER Balsamo Stone COLOR BOARDWALK
G	CONCRETE ROOF TILE Edge Beating Wood - for profile COLOR: DARK CHOCOLATE

**NOTE:**  
BUILDING HEIGHT PER CITY OF AVONDALE:  
The vertical distance measured from the  
finished ground level to the top of the  
roof surface for flat roofs, to the deck line for  
mansard roofs, or to the mean height between  
eaves and ridge for gables, gambrels or hip roofs.

SCALE: 1/4" = 1'-0"



3 REAR ELEVATION  
SCALE: 1/4" = 1'-0"



4 LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

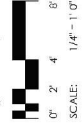


2 RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

**PALETTE A - MATERIAL LEGEND**

A	PRIMARY STUCCO COLOR PURE WHITE SW 7035
B	ACCENT STUCCO COLOR SHOWN W/WHITE SW7035
C	BASE STUCCO COLOR SHOWN W/WHITE SW7035
D	FASCIA STUCCO COLOR SHOWN W/WHITE SW7035
E	DOOR - MISC. COLOR CHERRYSPACE SW 7076
F	STONE VENEER BROOKSIDE Stone COLOR: BROWN/BLACK
G	CONCRETE ROOF TILE B&B Roofing Product - Flat profile COLOR: CONCORD BLEND

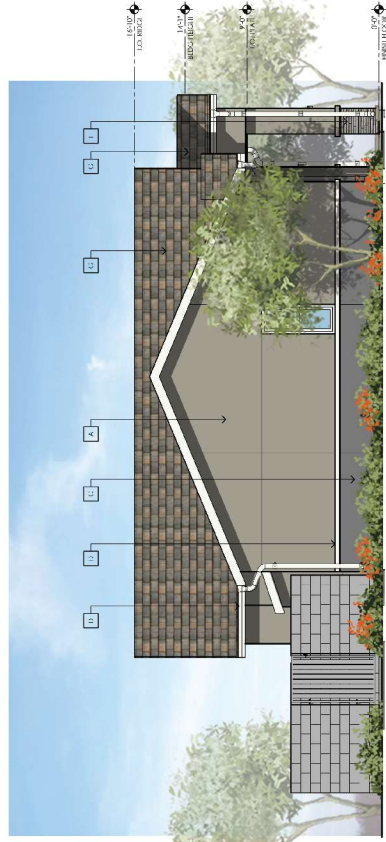
**NOTE:**  
BUILDING HEIGHT PER CITY OF AVONDALE:  
The vertical dimension measured from the top of the finished ground to the top of the roof surface for flat roofs, to the check line for mansard roofs, or to the mean height between eaves and ridge for gable, gambrel or hip roofs.





3 REAR ELEVATION

SCALE: 1/4" = 1'-0"



4 LEFT ELEVATION

SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"



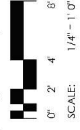
2 RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

**PALETTE B - MATERIAL LEGEND**

A	PRIMARY STUCCO COLOR RISING RIVER SW 7746
B	ACCENT STUCCO COLOR Sherwin Williams ORAGAMI WHITE SW 7638
C	BASE STUCCO COLOR Sherwin Williams NEUTRAL GREY SW 2949
D	FASCIA STUCCO COLOR HERNIMATIVE WHITE SW 7757
E	DOOR - MISC. COLOR SHADE GROWN SW 6188
F	STONE VENER Eckersley Stone COLOR: BOARDWALK
G	CONCRETE ROOF TILE Edge Boarding Product - Rapipolle COLOR: CONCORD & END

**NOTE:** BUILDING HEIGHT PER CITY OF AVONDALE:  
The vertical distance measured from the  
finished ground level to the highest point of the  
roof surface for flat roofs, to the deck line for  
mansard roofs, or to the mean height between  
eaves and ridge for gables, gambrels or hip roofs.





3 REAR ELEVATION

SCALE: 1/4"=1'-0"



4 LEFT ELEVATION

SCALE: 1/4"=1'-0"



1 FRONT ELEVATION

SCALE: 1/4"=1'-0"



2 RIGHT ELEVATION

SCALE: 1/4"=1'-0"

**PALETTE A - MATERIAL LEGEND**

A	PRIMARY STUCCO COLOR Sherwin Williams SW 7005 PURE WHITE
B	ACCENT STUCCO COLOR Sherwin Williams DRAGONIA WHITE SW 9535
C	BASE STUCCO COLOR Sherwin Williams METACALCITE GRAY SW 2849
D	FASCIA STUCCO COLOR WETCHESBIE GRAY SW 2849
E	DOOR, MISC. COLOR Sherwin Williams CHEERSPACE SW 7076
F	STONE VENEER PATTERN: CLIFFSTONE COLOR: BOARDWALK Edge roofing product: Rainville L-5001, CONCRETE LIGHT
G	CONCRETE ROOF TILE

**NOTE:**  
BUILDING HEIGHT PER CITY OF AVONDALE:  
The vertical distance measured from the top of the roof surface for flat roofs, to the check line for mansard roofs, or to the mean height between eaves and ridge for gable, gambrel or hip roofs.

SCALE: 1/4"=1'-0"



3 REAR ELEVATION

SCALE: 1/4" = 1'-0"



4 LEFT ELEVATION

SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

**PALETTE B - MATERIAL LEGEND**

A	PRIMARY STUCCO COLOR RISING RIVER SW 7746
B	ACCENT STUCCO COLOR SHEWAN VILLAS SW 7746
C	BASE STUCCO COLOR SHEWAN VILLAS SW 7746
D	FASCIA STUCCO COLOR SHEWAN VILLAS SW 7746
E	DOOR - MISC. COLOR SHADE GROWN SW 6188
F	STONE VENEER ELEGANT STONE SW 7746
G	CONCRETE ROOF TILE EDGE BORING PRODUCT - RAIPOLITE COLOR, CONCORD & BOND

**NOTE:** BUILDING HEIGHT PER CITY OF AVONDALE:  
The vertical distance measured from the  
finished floor to the top of the roof  
material, to the deck line for  
mansard roofs, or to the mean height between  
eaves and ridge for gable, gambrel or hip roofs.

0' 2' 4' 6'  
SCALE: 1/4" = 1'-0"



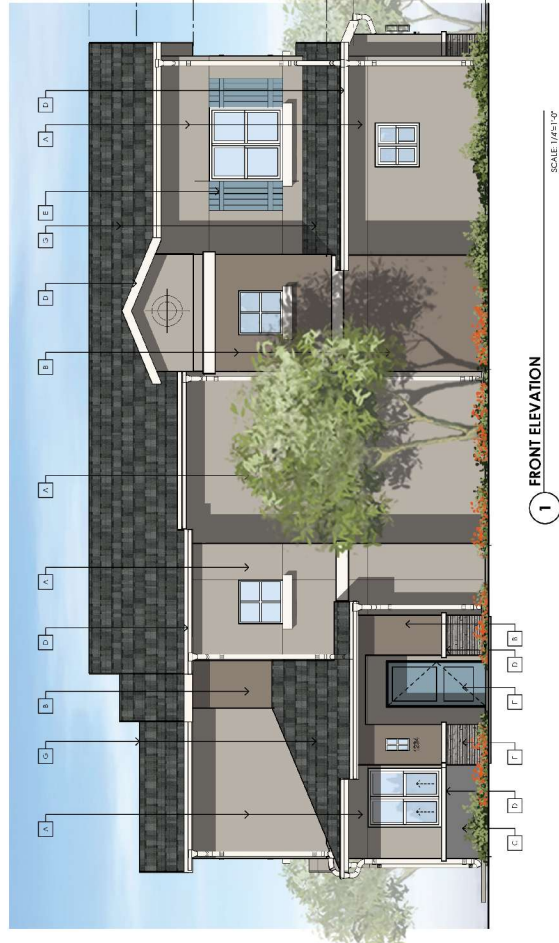
3 REAR ELEVATION

SCALE: 1/4"=1'-0"



4 LEFT ELEVATION

SCALE: 1/4"=1'-0"



1 FRONT ELEVATION

SCALE: 1/4"=1'-0"



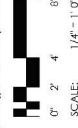
2 RIGHT ELEVATION

SCALE: 1/4"=1'-0"

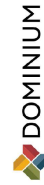
**PALETTE C - MATERIAL LEGEND**

A	PRIMARY STUCCO COLOR SHOWA WILSON REQUIRE GRAY SW7023
B	ACCENT STUCCO COLOR SHOWA WILSON SPINDLING GRAY SW 6074
C	BASE STUCCO COLOR SHOWA WILSON INDUSTRIAL GRAY SW 2849
D	FASCIA STUCCO COLOR SHOWA WILSON HIGH RELUCTIVE WHITE SW 7757
E	DOOR - MISC. COLOR SHOWA WILSON FAVORITE BEANS SW 9147
F	STONE VENEER SHOWA WILSON PATTERN: COPPERSTONE COLOR: BOARDWALK
G	CONCRETE ROOF TILE Edge coating product - flat profile COLOR: BARK/CONCRETE

**NOTE:** BUILDING HEIGHT PER CITY OF AVONDALE:  
The vertical distance measured from the  
finished ground level to the highest point of the  
roof surface for flat roofs, to the deck line for  
mansard roofs, or to the mean height between  
eaves and ridge for gables, gambrels or hip roofs.



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Avondale, Arizona  
MAJOR PAD AMENDMENT SUBMITTAL #3  
December 11, 2025



**BUILDING TYPE 3 ELEVATIONS  
PALETTE 'C'**

Preliminary Not For Construction

**A3.3.C**



3 REAR ELEVATION

SCALE: 1/4" = 1'-0"



4 LEFT ELEVATION

SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

**PALETTE D - MATERIAL LEGEND**

A	PRIMARY STUCCO COLOR ORANGAM WHITE SW7538
B	ACCENT STUCCO COLOR Shawn Wilkins SW7744
C	BASE STUCCO COLOR Shawn Wilkins SW7744 FASCIA/SHUTTERS GRAY SW2849
D	FASCIA STUCCO COLOR Shawn Wilkins SW7744 SHOWN RELIEFIVE WHITE SW7577
E	DOOR, MISC. COLOR WESTCHETTER GRAY SW2849
F	STONE VENER Barnard Stone COLOR: BARNARDSTONE
G	CONCRETE ROOF TILE Edge-Roofing Product - Hesperille COLOR: CONCORD RED

**NOTE:** BUILDING HEIGHT PER CITY OF AVONDALE:  
The vertical distance measured from the  
finished ground level to the peak of the  
roof surface for flat roofs, to the deck line for  
mansard roofs, or to the mean height between  
eaves and ridge for gable, gambrel or hip roofs.

SCALE: 1/4" = 1'-0"



3 REAR ELEVATION  
SCALE: 1/4"=1'-0"



4 LEFT ELEVATION  
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION  
SCALE: 1/4"=1'-0"



2 RIGHT ELEVATION  
SCALE: 1/4"=1'-0"

**PALETTE A - MATERIAL LEGEND**

A	PRIMARY STUCCO COLOR PURE WHITE SW 7035
B	ACCENT STUCCO COLOR SAGE WHITE SW 7036
C	BASE STUCCO COLOR ORIGAM WHITE SW 7036
D	FASCIA STUCCO COLOR WITCHETT GRAY SW 2669
E	DOOR - MISC. COLOR SHREVE WILLIAMS INDUSTRIAL GRAY SW 2669
F	STONE VENEER Blondado Stone COUNTRY GRAY SW 7076 COLOR BOARDWALK
G	CONCRETE ROOF TILE Eagle Roofing Product - Est Profile COLOR: CONCORD BEND

**NOTE:**  
BUILDING HEIGHT PER CITY OF AVONDALE:  
The vertical distance measured from the top of the finished ground to the highest point of the roof surface for flat roofs, to the check line for mansard roofs, or to the mean height between eaves and ridge for gable, gambrel or hip roofs.

0' 2' 4' 6'  
SCALE: 1/4" = 1'-0"

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MAJOR PAD AMENDMENT SUBMITTAL #3  
December 11, 2025



BUILDING TYPE 4 ELEVATIONS  
PALETTE 'A'

Preliminary Not For Construction

# A3.4.A



3 REAR ELEVATION



4 LEFT ELEVATION



1 FRONT ELEVATION



2 RIGHT ELEVATION

**PALETTE B - MATERIAL LEGEND**

A	PRIMARY STUCCO COLOR RISING RIVER SW 7746
B	ACCENT STUCCO COLOR SHEWAN VILLAS SW 2949
C	BASE STUCCO COLOR ORAGAMI WHITE SW 6538
D	FASCIA STUCCO COLOR SHEWAN VILLAS SW 2949
E	DOOR - MISC. COLOR SHADE GROWN SW 6188
F	STONE VENEER ELEGANT STONE COLOR: BOARDWALK
G	CONCRETE ROOF TILE Edge Beating Product - Parapet COLOR: CONCORD & END

**NOTE:**  
BUILDING HEIGHT PER CITY OF AVONDALE:  
The vertical distance measured from the  
finished ground level to the top of the  
roof surface for flat roofs, to the deck line for  
mansard roofs, or to the mean height between  
eaves and ridge for gables, gambrels or hip roofs.

0' 2' 4' 6'  
SCALE: 1/4" = 1'-0"

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BUILDING TYPE 4 ELEVATIONS  
PALETTE 'B'

Preliminary Not For Construction

# A3.4.B



3 REAR ELEVATION  
SCALE: 1/4"=1'-0"



4 LEFT ELEVATION  
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION  
SCALE: 1/4"=1'-0"



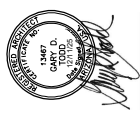
2 RIGHT ELEVATION  
SCALE: 1/4"=1'-0"

**PALETTE C - MATERIAL LEGEND**

A	PRIMARY STUCCO COLOR REGURITE GRAY SW7029
B	ACCENT STUCCO COLOR SHERWIN WILLIAMS SW 6574
C	BASE STUCCO COLOR SHERWIN WILLIAMS WITCHESLE GRAY SW 2869
D	FASCIA STUCCO COLOR SHERWIN WILLIAMS WITCHESLE WHITE SW 7129
E	DOOR - MISC. COLOR FAVORITE JEANS SW 9147
F	STONE VENEER Belenzo Stone COLOR: BOARDWALK
G	CONCRETE ROOF TILE Eagle Roofing Product 1- for profile COLOR: DARK CHARCOAL

**NOTE:**  
BUILDING HEIGHT PER CITY OF AVONDALE:  
The vertical distance measured from the finished ground level to the highest point of the roof surface for flat roofs, to the deck line for mansard roofs, or to the mean height between eaves and ridge for gables, gambrels or hip roofs.

0' 2' 4' 6'  
SCALE: 1/4" = 1'-0"





3 REAR ELEVATION

SCALE: 1/4"=1'-0"



4 LEFT ELEVATION

SCALE: 1/4"=1'-0"



1 FRONT ELEVATION

SCALE: 1/4"=1'-0"



2 RIGHT ELEVATION

SCALE: 1/4"=1'-0"

**PALETTE D - MATERIAL LEGEND**

A	PRIMARY STUCCO COLOR ORIGAMI WHITE SW7338
B	ACCENT STUCCO COLOR Shawn Wilkins RISING RIVER SW7744
C	BASE STUCCO COLOR Shawn Wilkins PISCHELE GRAY SW2849
D	FASCIA STUCCO COLOR HIGH REFLECTIVE WHITE SW 7577
E	DOOR, MISC. COLOR WESTHEBE GRAY SW 2849
F	STONE VENEER Berkshire Stone COLOR: BOLD WALK
G	CONCRETE ROOF TILE Edge-Roofing Product - Inspirelle COLOR: CONCORD RED

**NOTE:**  
BUILDING HEIGHT PER CITY OF AVONDALE:  
The vertical distance measured from the  
ground surface to the top of the roof  
and the roof surface for flat roofs, to the deck line for  
pitched roofs, or to the mean height between  
eaves and ridge for gables, gambrels or hip roofs.

0' 2' 4' 6'  
SCALE: 1/4" = 1'-0"

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December 11, 2025

BUILDING TYPE 4 ELEVATIONS  
PALETTE 'D'  
Preliminary Not For Construction

# A3.4.D



3 REAR ELEVATION

SCALE: 1/4"=1'-0"



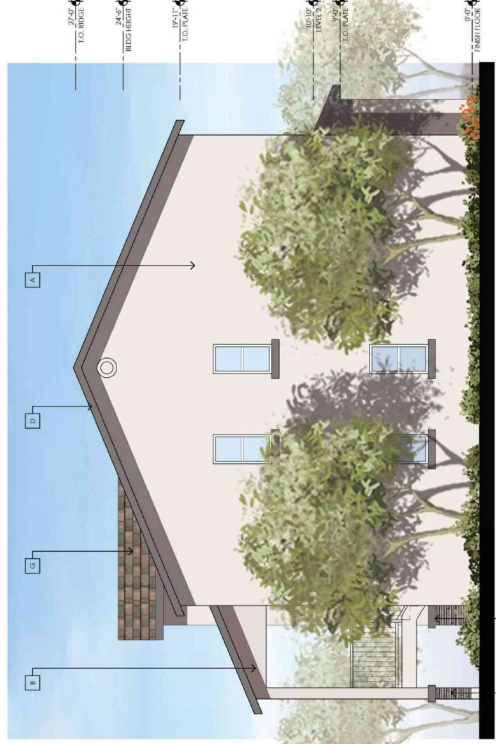
4 LEFT ELEVATION

SCALE: 1/4"=1'-0"



1 FRONT ELEVATION

SCALE: 1/4"=1'-0"



2 RIGHT ELEVATION

SCALE: 1/4"=1'-0"

**PALETTE A - MATERIAL LEGEND**

A	PRIMARY STUCCO COLOR PURE WHITE SW 7005
B	ACCENT STUCCO COLOR SHEEN WHITE SW 7001 OR GAIN WHITE SW 7055
C	BASE STUCCO COLOR SHEEN WHITE SW 7001 WITCHSTER GRAY SW 28 99
D	FASCIA STUCCO COLOR SHEEN WHITE SW 7001 MISTIC GREY SW 28 99
E	DOOR - MISC. COLOR CERESPACE SW 7076
F	STONE VENEER Biscuits Stone MATERIAL COLOR: BROWN/TAPE MATERIAL COLOR: BROWN/TAPE
G	CONCRETE ROOF TILE Edge roofing product - hip profile COLOR: CONCORD BLEND

**NOTE:**  
BUILDING HEIGHT PER CITY OF AVONDALE:  
The vertical dimensions measured from the top of the finished floor to the top of the roof surface for flat roofs, to the deck line for mansard roofs, or to the mean height between eaves and ridge for gable, gambrel or hip roofs.



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December 11, 2025



BUILDING TYPE 5 ELEVATIONS  
PALETTE 'A'

Preliminary Not For Construction

**A3.5.A**



3 REAR ELEVATION  
SCALE: 1/4"=1'-0"



4 LEFT ELEVATION  
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION  
SCALE: 1/4"=1'-0"

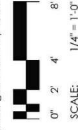


2 RIGHT ELEVATION  
SCALE: 1/4"=1'-0"

**PALETTE B - MATERIAL LEGEND**

A	PRIMARY STUCCO COLOR RISING RIVER SW 7746
B	ACCENT STUCCO COLOR SHEWAN WILLIAMS ORAGAMA WHITE SW 9538
C	BASE STUCCO COLOR SHEWAN WILLIAMS NETS VELLER GRAN SW 2989
D	FASCIA STUCCO COLOR SHEWAN WILLIAMS NETS VELLER WHITE SW 7357
E	DOOR - MISC. COLOR SHADE GROWN SW 6188
F	STONE VENEER ELEGANT STONE COLOR: BOARDWALK
G	CONCRETE ROOF TILE Edge Sloping Product - Parapette COLOR: CONCORD & END

**NOTE:**  
BUILDING HEIGHT PER CITY OF AVONDALE:  
The vertical distance measured from the  
finished ground level to the top of the  
roof surface for flat roofs, to the eave line for  
mansard roofs, or to the mean height between  
eaves and ridge for gable, gambrel or hip roofs.





3 REAR ELEVATION  
SCALE: 1/4"=1'-0"



4 LEFT ELEVATION  
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION  
SCALE: 1/4"=1'-0"

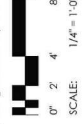


2 RIGHT ELEVATION  
SCALE: 1/4"=1'-0"

**PALETTE D - MATERIAL LEGEND**

A	PRIMARY STUCCO COLOR ORIGAMY WHITE SW7538
B	ACCENT STUCCO COLOR SHOWEN WHIPPY SW7744
C	BASE STUCCO COLOR FASCIA/SHUTTER GRAY SW2849
D	FASCIA STUCCO COLOR HICKORY/RELIEF WHITE SW7577
E	DOOR, MISC. COLOR BARRAGE STONE WESTCHETTER GRAY SW2849
F	STONE VENEER BARRAGE STONE WESTCHETTER GRAY SW2849
G	CONCRETE ROOF TILE Edge-Retaining Product - Red/White COLOR: CONCORD BLEND

**NOTE:**  
BUILDING HEIGHT PER CITY OF AVONDALE:  
The vertical distance measured from the  
finished ground level to the top of the  
roof surface for flat roofs, to the eave line for  
mansard roofs, or to the mean height between  
eaves and ridge for gable, gambrel or hip roofs.





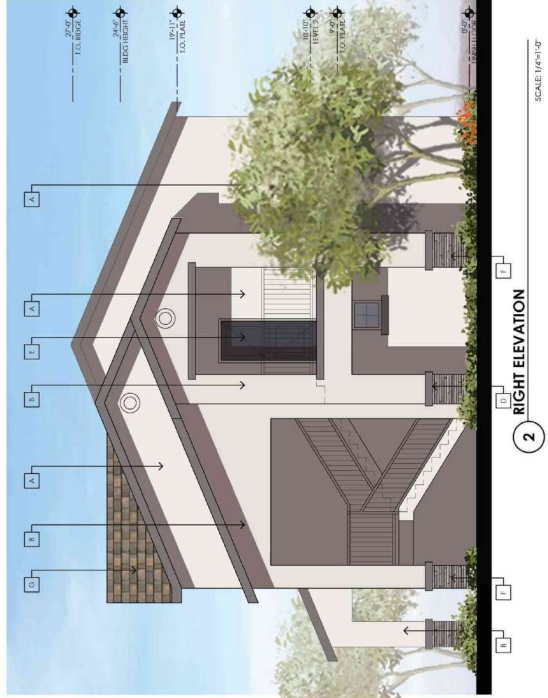
3 REAR ELEVATION



4 LEFT ELEVATION



1 FRONT ELEVATION



2 RIGHT ELEVATION

**PALETTE A - MATERIAL LEGEND**

A	PRIMARY STUCCO COLOR PURE WHITE SW 7035
B	ACCENT STUCCO COLOR SHERRY WHIPPY SW 7036
C	BASE STUCCO COLOR SHERRY WHIPPY SW 7036
D	FASCIA STUCCO COLOR NEUTRAL GRAY SW 2869
E	DOOR, MISC. COLOR CYBERSPACE SW 7076
F	STONE VENEER BANDING STONE COLOR BOARDWALK
G	CONCRETE ROOF TILE Edge Working Product 1, 1/4 profile COLOR: CORALOID BAND

**NOTE:**  
BUILDING HEIGHT PER CITY OF AVONDALE:  
The vertical distance measured from the  
finished ground level to the top of the  
roof surface for flat roofs, to the deck line for  
mansard roofs, or to the mean height between  
eaves and ridge for gable, gambrel or hip roofs.

SCALE: 1/4" = 1'-0"



3 REAR ELEVATION



4 LEFT ELEVATION



1 FRONT ELEVATION



2 RIGHT ELEVATION

**PALETTE B - MATERIAL LEGEND**

A	PRIMARY STUCCO COLOR RISING RIVER SW7746
B	ACCENT STUCCO COLOR SHEWAN WHITE SW7030
C	BASE STUCCO COLOR SHEWAN WHITE SW7030
D	FASCIA STUCCO COLOR SHEWAN WHITE SW7030
E	DOOR - MISC. COLOR SHADE CROWN SW 6188
F	STONE VENEER ELEGANT STONE COLOR: BOARDWALK
G	CONCRETE ROOF TILE Edge Roping Product - Paraplate COLOR: CONCORD & END

**NOTE:** BUILDING HEIGHT PER CITY OF AVONDALE:  
The vertical distance measured from the top of the finished ground level to the top of the roof surface for flat roofs, to the peak line for mansard roofs, or to the mean height between eaves and ridge for gables, gambrels or hip roofs.

SCALE: 0' 2' 4' 8'  
1/4" = 1'-0"



3 REAR ELEVATION



4 LEFT ELEVATION



1 FRONT ELEVATION



2 RIGHT ELEVATION

**PALETTE C - MATERIAL LEGEND**

A	PRIMARY STUCCO COLOR REGGIE GRAY SW7023
B	ACCENT STUCCO COLOR SHEWAN WHITES SW6074
C	BASE STUCCO COLOR SHEWAN WHITES SW6074
D	FASCIA STUCCO COLOR SHEWAN WHITES SW6074
E	DOOR - MISC. COLOR BIRMINGHAM SW 9147
F	STONE VENEER BIRMINGHAM SW 9147
G	CONCRETE ROOF TILE EDGE BEARING HEAD - FOR PORTE COLORE: DARK CHARCOAL

**NOTE:** BUILDING HEIGHT PER CITY OF AVONDALE:  
The vertical distance measured from the top of the finished ground to the highest point of the roof surface for flat roofs, to the peak line for mansard roofs, or to the mean height between eaves and ridge for gable, gambrel or hip roofs.

SCALE: 1/4" = 1'-0"



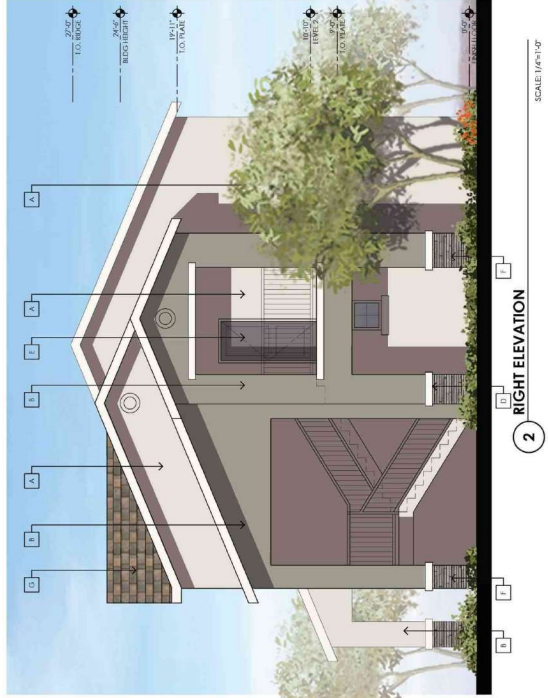
3 REAR ELEVATION



4 LEFT ELEVATION



1 FRONT ELEVATION



2 RIGHT ELEVATION

**PALETTE D - MATERIAL LEGEND**

A	PRIMARY STUCCO COLOR CRAGGAM WHITE SW7538
B	ACCENT STUCCO COLOR SHOWA WHITE SW7796
C	BASE STUCCO COLOR SHOWA WHITE SW7796
D	FASCIA STUCCO COLOR HESCHER GRAY SW2889
E	DOOR - MISC. COLOR HESCHER GRAY SW2889
F	STONE VENEER BROOKS STONE COLOR: BOARDWALK
G	CONCRETE ROOF TILE Edge roofing product - 40 profile COLOR: CONCRETE BLEND

**NOTE:** BUILDING HEIGHT PER CITY OF AVONDALE:  
The vertical distance measured from the top of the finished ground level to the top of the roof surface for flat roofs, to the peak line for mansard roofs, or to the mean height between eaves and ridge for gable, gambrel or hip roofs.

SCALE: 1/4" = 1'-0"



3 REAR ELEVATION  
SCALE: 1/4"=1'-0"



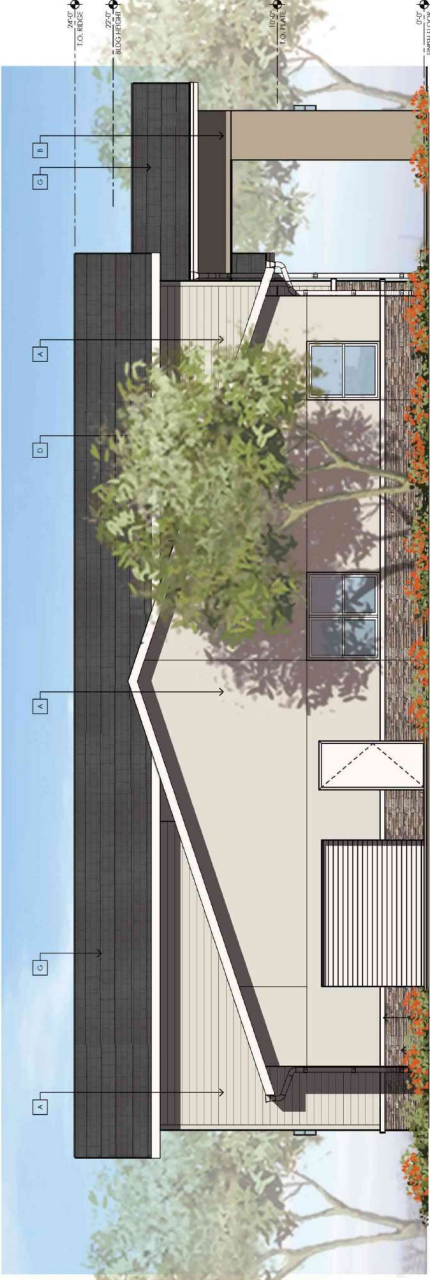
1 FRONT ELEVATION  
SCALE: 1/4"=1'-0"

**PALETTE E - MATERIAL LEGEND**

A	PRIMARY STUCCO COLOR SPRAY ON IVORY LACE SW 7013
B	ACCENT STUCCO COLOR SHEWAN WHITE UNIVERSAL ENIG SW 6150
C	BASE STUCCO COLOR SHEWAN WHITE MULTI-COLOR GRAY SW 2389
D	FASCIA STUCCO COLOR HIGH REFLECTIVE WHITE SW 7757
E	DOOR / MIC. COLOR WESTCHESTER GRAY SW 2889
F	STONE VENEER Barranco Stone COLOR: ROSEBANK
G	CONCRETE ROOF TILE Edge Roofing product - Baripolle COLOR: DARK CONCREAL

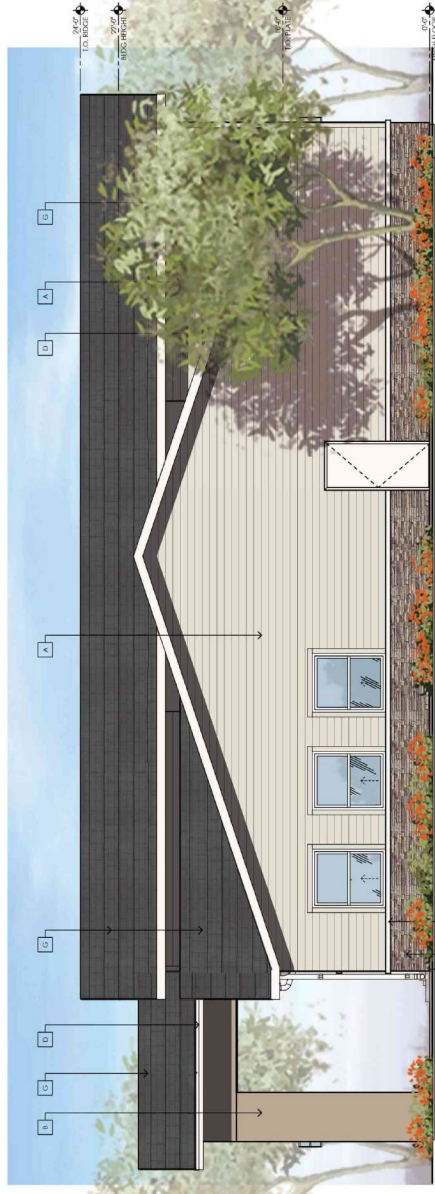
**NOTE:**  
BUILDING HEIGHT PER CITY OF AVONDALE:  
The vertical distance measured from the finished ground level to the top of the roof surface for flat roofs, to the deck line for mansard roofs, or to the mean height between eaves and ridge for gable, gambrel or hip roofs.

SCALE: 1/4" = 1'-0"



4 LEFT ELEVATION

SCALE: 1/4"=1'-0"



2 RIGHT ELEVATION

SCALE: 1/4"=1'-0"

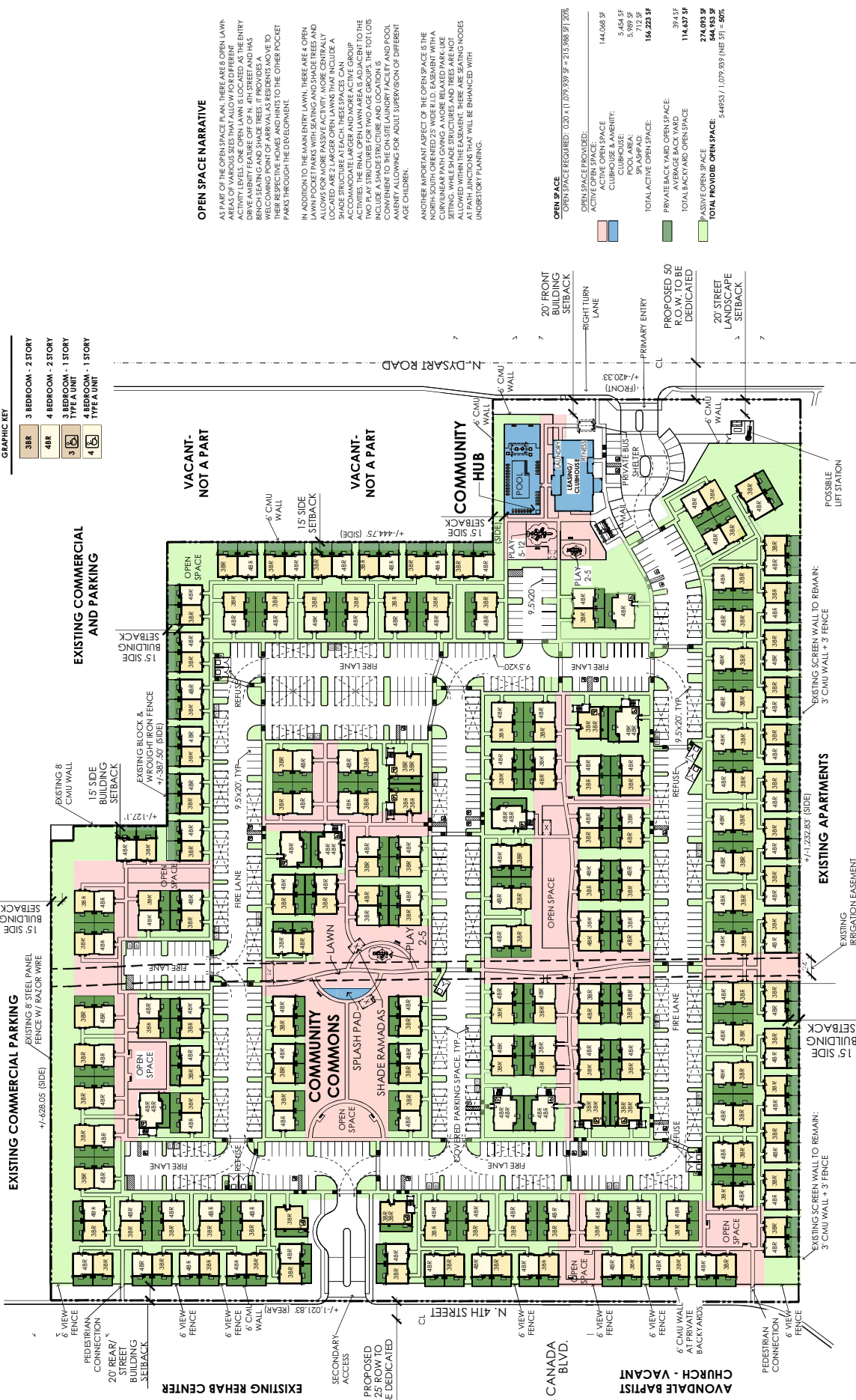
**PALETTE E - MATERIAL LEGEND**

A	PRIMARY STUCCO COLOR Sherwin Williams IVORY LACE SW 7013
B	ACCENT STUCCO COLOR Sherwin Williams UNIVERSAL WHITE SW 100
C	BASE STUCCO COLOR Sherwin Williams WITCHHIRE GRAY SW 2849
D	FASCIA STUCCO COLOR Sherwin Williams HIGH REFLECTIVE WHITE SW 7757
E	DOOR, MISC. COLOR Sherwin Williams WITCHHIRE GRAY SW 2849
F	STONE VENEER PATTERN: CHEFFONE COLOR: BOARDWALK
G	CONCRETE ROOF TILE Color: Boardwalk Profile: 12x18, 20x30, 24x36

**NOTE:**  
BUILDING HEIGHT PER CITY OF AVONDALE:  
The vertical distance measured from the top of the finished ground to the peak of the roof surface for flat roofs, to the deck line for mansard roofs, or to the mean height between eaves and ridge for gable, gambrel or hip roofs.



# EXHIBIT G



**GRAPHIC KEY**

3BR	3 BEDROOM - 2 STORY
4BR	4 BEDROOM - 2 STORY
3	3 BEDROOM - 1 STORY TYPE A UNIT
4	4 BEDROOM - 1 STORY TYPE A UNIT

**OPEN SPACE NARRATIVE**

AS PART OF THE OPEN SPACE PLAN, THERE ARE 8 OPEN LAWN AREAS OF VARIOUS SIZES THAT ALLOW FOR DIFFERENT ACTIVITY LEVELS. ONE OPEN LAWN IS LOCATED AT THE ENTRY AREA OF THE COMMUNITY COMMONS. THIS OPEN LAWN HAS BENCH SEATING AND SHADE TREES. IT PROVIDES A WELCOMING POINT OF ARRIVAL AS RESIDENTS MOVE TO THEIR RESPECTIVE HOMES AND HINNS TO THE OTHER ROCKET PANS THROUGH THE DEVELOPMENT.

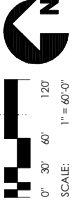
IN ADDITION TO THE MAIN ENTRY LAWN, THERE ARE 4 OPEN LAWN POCKET PARKS WITH SEATING AND SHADE TREES AND 4 OPEN LAWN AREAS. THESE ARE STRATEGICALLY LOCATED AROUND THE COMMUNITY COMMONS AND COMMUNITY HUB. THESE SPACES CAN ACCOMMODATE LARGER AND MORE ACTIVE GROUPS OF RESIDENTS. THE LAWN AREAS ARE STRATEGICALLY PLACED TO PROVIDE A WELCOMING POINT OF ARRIVAL AS RESIDENTS MOVE TO THEIR RESPECTIVE HOMES AND HINNS TO THE OTHER ROCKET PANS THROUGH THE DEVELOPMENT.

ANOTHER IMPORTANT ASPECT OF THE OPEN SPACE IS THE NORTH-SOUTH ORENEED 25' WIDE R.I.D. EASEMENT WITH A 15' SIDE SETBACK. THIS EASEMENT IS STRATEGICALLY PLACED TO PROVIDE A WELCOMING POINT OF ARRIVAL AS RESIDENTS MOVE TO THEIR RESPECTIVE HOMES AND HINNS TO THE OTHER ROCKET PANS THROUGH THE DEVELOPMENT.

ANOTHER IMPORTANT ASPECT OF THE OPEN SPACE IS THE NORTH-SOUTH ORENEED 25' WIDE R.I.D. EASEMENT WITH A 15' SIDE SETBACK. THIS EASEMENT IS STRATEGICALLY PLACED TO PROVIDE A WELCOMING POINT OF ARRIVAL AS RESIDENTS MOVE TO THEIR RESPECTIVE HOMES AND HINNS TO THE OTHER ROCKET PANS THROUGH THE DEVELOPMENT.

**OPEN SPACE**

OPEN SPACE REQUIRED: 10,020 SF (1,079,939 SF = 215,988 SF 20%)
ACTIVE OPEN SPACE:
CLUBHOUSE & AMENITY: 144,068 SF
POOL AREA: 5,454 SF
SPLASH PAD: 5,989 SF
712 SF
156,223 SF
TOTAL ACTIVE OPEN SPACE: 156,223 SF
PRIVATE BACKYARD OPEN SPACE: 39,437 SF
AVERAGE BACKYARD OPEN SPACE: 114,437 SF
TOTAL BACKYARD OPEN SPACE: 114,437 SF
PASSIVE OPEN SPACE: 274,093 SF
544,953 SF
5,495,933 / 1,079,939 (NET SF) = 80%





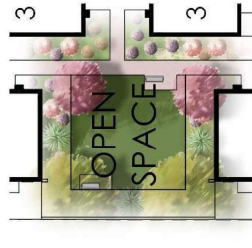
2 POCKET PARK



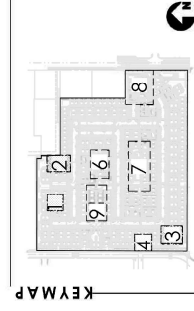
1 POCKET PARK



3 POCKET PARK



4 POCKET PARK



L1.1



CONCEPTUAL AMENITY  
ENLARGEMENTS

Preliminary Not For Construction



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Avondale, Arizona

MAJOR PAD AMENDMENT SUBMITTAL #3

December 11, 2025



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6 CENTRAL AMENITY LAWN



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Avondale, Arizona

MAJOR PAD AMENDMENT SUBMITTAL #3

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*[Signature]*

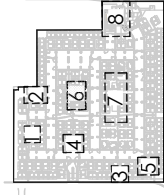


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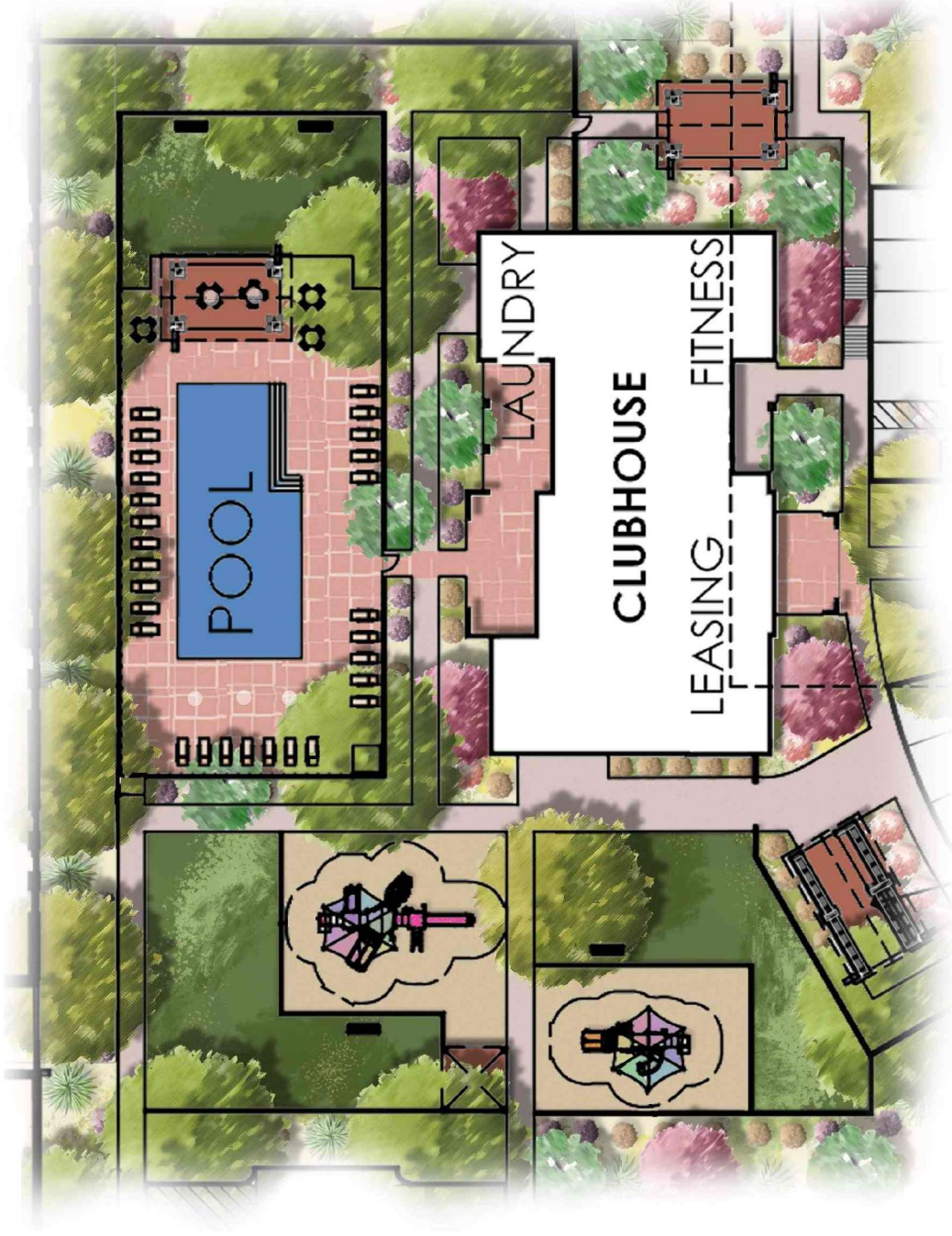
CONCEPTUAL AMENITY  
ENLARGEMENTS

Preliminary Not For Construction

KEYMAP



**L1.2**



7 PRIMARY AMENITY

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Avondale, Arizona

MAJOR PAD AMENDMENT SUBMITTAL #3

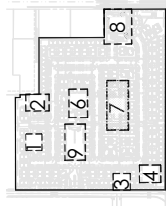
December 11, 2025



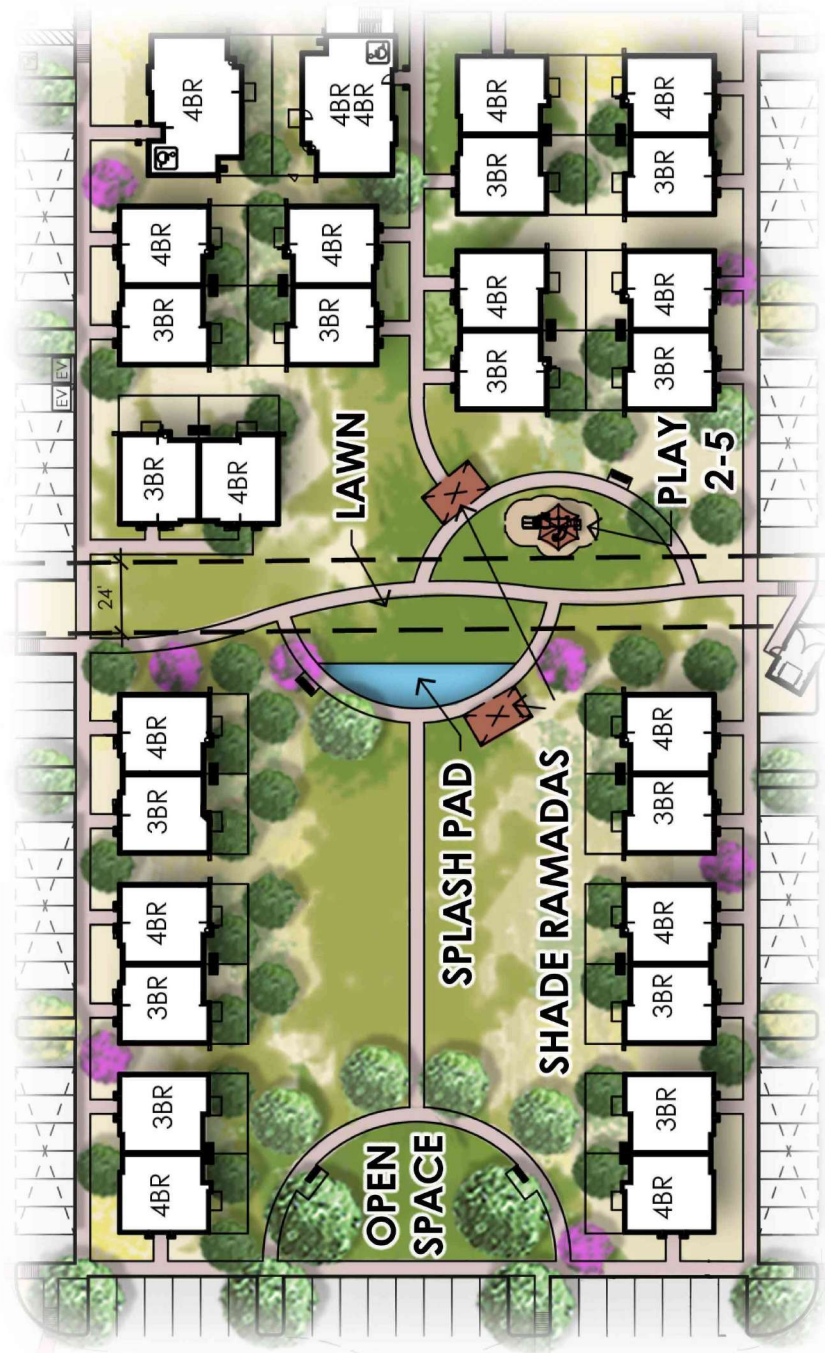
CONCEPTUAL AMENITY  
ENLARGEMENTS

Preliminary Not For Construction

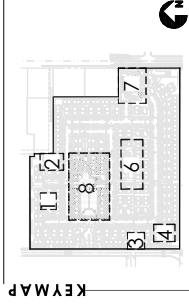
KEYMAP



**L1.3**



8 SECONDARY AMENITY



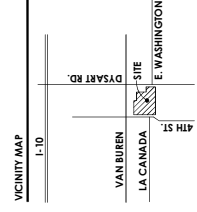
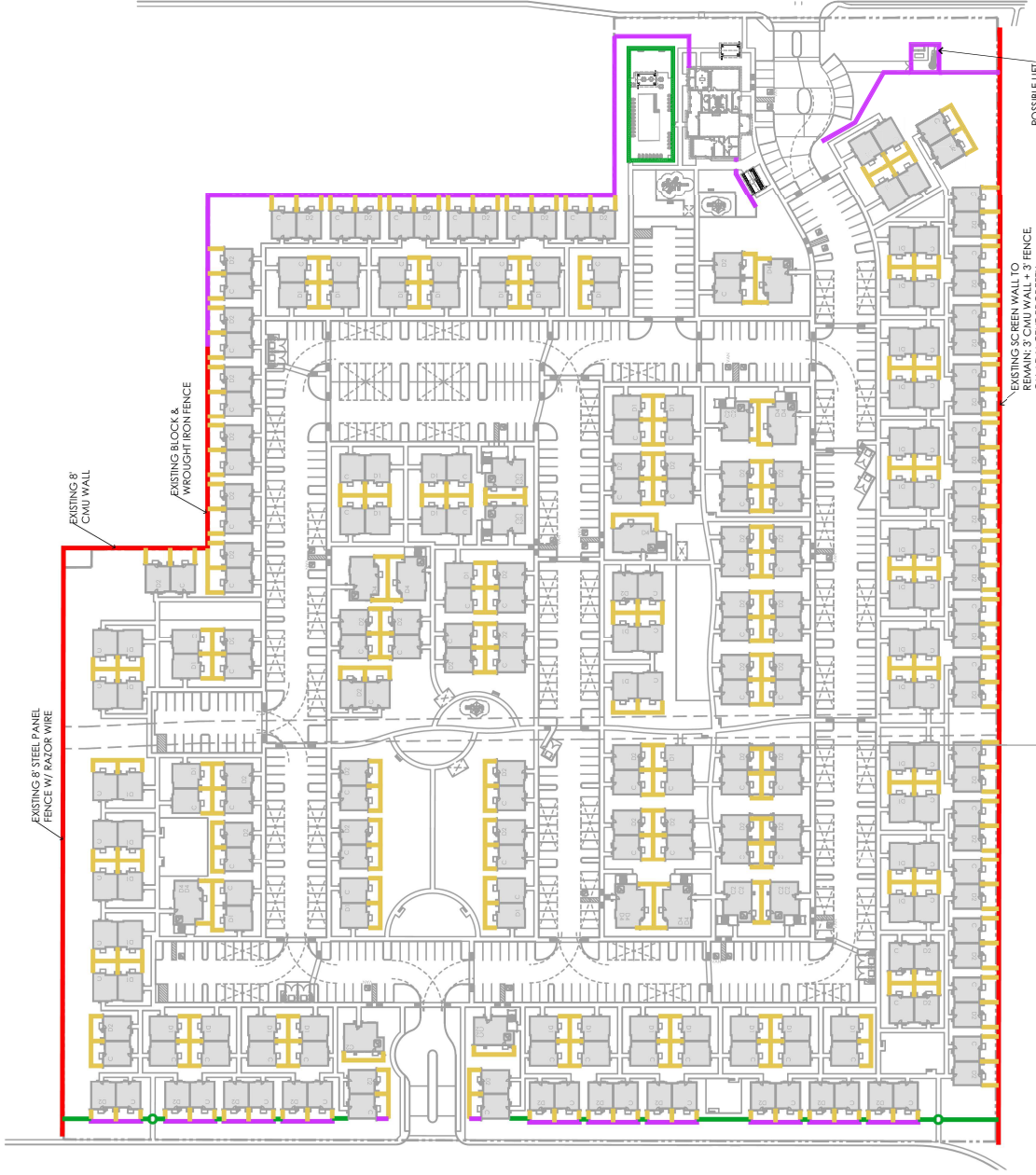
CONCEPTUAL AMENITY ENLARGEMENTS  
 Preliminary Not For Construction

L1.4

# EXHIBIT H

**CONCEPTUAL WALL LEGEND**

SYMBOL	DESCRIPTION	DETAIL
[Red line]	EXISTING WALL	EXISTING
[Green line]	SOLID BLOCK WALL	1 & 2
[Yellow line]	BUILDER WALL	3 & 4
[Purple line]	POOL FENCE & GATE	4 & 5
[Green circle]	VIEW FENCE	5 & 6
[Green circle]	VIEW GATE	6 & A1.4



CONCEPTUAL WALL PLAN

Preliminary Not For Construction



**Rosilian Villas**  
 Avondale, Arizona  
 MAJOR PAD AMENDMENT SUBMITTAL #3  
 December 11, 2025



**TODD + ASSOCIATES**  
 602-962-8280 / TODDASSOC.COM  
 25-2016-00



**A1.4**



# Exhibit E

March 18, 2026



**PARKING:**

UNIT TYPE	P.S. RATIO	# OF UNITS	PS. REQUIRED
ALL	3BR, 4BR	2.0 P5/DU	X 291 = 582 P.S.
	GUEST PARKING	0.2 P5/DU	X 291 = 58 P.S.
<b>TOTAL PARKING REQUIRED</b>			<b>641 P.S.</b>

(2.20 P5/DU)

**PARKING PROVIDED:**

SURFACE RESIDENTS	299
SURFACE GUESTS	59
COVERED PARKING (1 PER DU)	291
<b>TOTAL PARKING PROVIDED*</b>	<b>649</b>

(2.21 P5/DU) 648

\*INCLUDES 18 ACCESSIBLE PS (P2.83) AND 30 EV-CAPABLE PS

- SYMBOL LEGEND:**
- 35' INSIDE / 55' OUTSIDE FIRETRUCK TURNING RADIUS
  - FIRE NOTE: ASSUMES ACCESS FROM FIRE LANE WILL BE EXTENDED FROM 150 TO 200' PER CITY OF AVONDALE FIRE PLANS EXAMINER. (PROVIDE 13D SPRINKLER SYSTEM)
  - ACCESSIBLE PARKING: TYP.: MIN. 8'-0" x 20'-0" w/ 5' AISLE; VAN: MIN. 11'-0" x 20'-0" w/ 5' AISLE
  - ACCESSIBLE DWELLING UNIT
  - EV - EV CAPABLE PARKING SPACE

- CITY OF AVONDALE SITE PLAN NOTES**
- ALL UTILITIES LESS THAN 48" IN DEPTH SHALL BE UNDER-GROUNDED WITH THE FIRST PHASE OF DEVELOPMENT.
  - ALL GROUND-MOUNTED EQUIPMENT SHALL BE SCREENED/ CONCEALED FROM STREET VIEW.
  - PLANTS LOCATED WITHIN REQUIRED ASHITO SIGHT VISIBILITY TRIANGLES SHALL BE PRUNED REGULARLY TO PERMIT UNOBSTRUCTED VISION. PLANT MATERIALS SHALL BE MAINTAINED TO BE LOWER THAN 2' (SHRUBS OR TALLER THAN 7' (BOTTOM OF TREE CANOPY).
  - FUTURE DEVELOPMENT PADS WITHIN MASTER PLANNED DEVELOPMENTS SHALL BE COVERED WITH A MINIMUM OF 2" THICK DECOMPOSED GRANITE FOR DUST CONTROL AT TIME OF DEVELOPMENT.
  - ALL DEVELOPMENTS SHALL BE MAINTAINED IN CONFORMANCE WITH THE APPROVED SITE PLAN AND LANDSCAPE PLAN. ANY CHANGES THERETO SHALL REQUIRE APPROVAL OF THE CITY OF AVONDALE.
  - THIS PROJECT IS SUBJECT TO THE CURRENT AVONDALE GENERAL ENGINEERING REQUIREMENTS (AND MAG SUPPLEMENTAL REGULATIONS), MULTIFAMILY DESIGN MANUAL, ZONING ORDINANCE, GENERAL PLAN, AVONDALE STREET MASTER PLAN, AND ANY APPLICABLE SPECIFIC PLANS.
  - QUANTITY OF ADA DWELLING UNITS BASED ON 2024-2025 ARIZONA GENERAL ALLOCATION PLAN (GAP).

**SITE DATA**

**PROJECT NAME & ADDRESS:**  
AVONDALE TOWNHOMES ON DYSART  
DYSART RD. TO 4TH ST. S. OF VAN BUREN  
AVONDALE, ARIZONA

**ASSessor'S PARCEL NUMBER:** 500-12-350

**DESCRIPTION:** NEW MULTI-FAMILY RESIDENTIAL DEVELOPMENT CONSISTING OF DULFLEX 2-STORY 3 & 4 BEDROOM UNITS, AND SINGLE STORY 3 AND 4 BEDROOM UNITS. DEVELOPMENT INCLUDES A LEASING/ CLUBHOUSE WITH FITNESS, LAUNDRY, AND COMMUNITY SPACE. SITE AMENITIES INCLUDE POOL, SPLASH PAD, PLAYGROUNDS, AND OPEN SPACES

**SITE AREA:**  
GROSS SITE AREA: 11,121,501 SF ± 25.86 AC  
NET SITE AREA: 11,079,939 SF ± 24.79 AC

**ZONING:**  
EXISTING ZONING: FAD/ P-3  
PROPOSED ZONING: PAD/ R-3 AMENDED

**DENSITY (NET AC.):**  
DENSITY ALLOWED (PAD): 302 DU/ 12.18 DU/ AC  
DENSITY PROVIDED: 291 DU/ 11.74 DU/ AC

**BUILDING HEIGHT:**  
BUILDING HEIGHT ALLOWED: 28'  
BUILDING HEIGHT PROVIDED: 28'

**CONSTRUCTION TYPE:**  
RESIDENTIAL BUILDINGS: IRC VB, W/ NFA/ 13D FIRE SPRINKLER  
CLUBHOUSE: IRC VA, W/ NFA/ 13 FIRE SPRINKLER

**BUILDING SETBACKS:**  
MIN. FRONT BUILDING SETBACK - DYSART: 30'  
MIN. STREET REAR BUILDING SETBACK - 4TH STREET: 30'  
SIDE BUILDING SETBACK - NORTH & SOUTH PROP. UNITS: 15'

**BUILDING COVERAGE:**  
MAX BUILDINGS COVERAGE (PER PAD): 23%  
BUILDING COVERAGE PROVIDED: 1281,250 SF ± 28.96%  
\*PER CITY OF AVONDALE DEFINITION, CALCULATION DOES NOT INCLUDE OPEN CARPORTS

**LANDSCAPE AREA:**  
LANDSCAPE AREA REQUIRED: 25% OF NET AREA  
LANDSCAPE AREA PROVIDED: 0.25 x 1,079,939 SF = 269,985 SF ± 35.35% (1,355,351 SF) 32.9%

**OPEN SPACE:**  
OPEN SPACE REQUIRED: 0.20 x (1,079,939 SF) = 215,988 SF ± 30%

**OPEN SPACE PROVIDED:**  
ACTIVE OPEN SPACE: 144,068 SF  
CLUBHOUSE & AMENITY: 5,455 SF  
POOL AREA: 5,189 SF  
SPLASHPAD: 712 SF  
TOTAL ACTIVE OPEN SPACE: 154,223 SF

PRIVATE BACK YARD OPEN SPACE: 391 SF  
AVERAGE BACK YARD: 114,637 SF  
TOTAL BACK YARD OPEN SPACE: 274,093 SF

PASSIVE OPEN SPACE: 544,953 SF  
TOTAL PROVIDED OPEN SPACE: 849,216 SF ± 50%

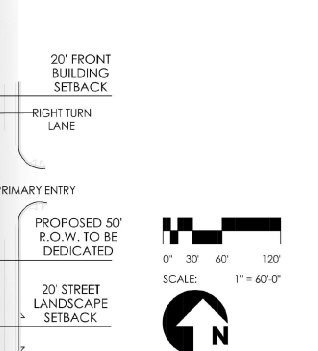
**BUILDING AREAS**

BUILDING TYPE	UNITS	BUILDING GROSS SF	# BUILDINGS	TOTAL SF BY TYPE
2	C2-ADA	1316	1	1316 SF
2	D4-ADA	1497	1	2913 SF
3	C1-D1	3098	1	173,488 SF
4	C1-D2	3098	1	235,448 SF
5	C-F31-D-F32	2384	1	11,500 SF
6	D-F32-D-F32	3072	1	18,432 SF
<b>TOTAL BUILDING GROSS SF</b>				<b>447,142 SF</b>

\*BUILDING GROSS SF INCLUDES EXTERIOR PATIO AREAS UNDER FOOT COVER, INCLUDING COVERED PATIOS AND TERRACES.

**UNIT MIX**

UNIT TYPE	RATIO	# OF UNITS	# OF BEDS
C1	2-STORY 3BR	45.2%	132
C2	ADA 3BR	0.5%	3
C-F31	ADA 3BR	2.1%	6
C-F32	2ND FLOOR	2.1%	6
D1	2-STORY 4BR	19.2%	56
D2	2-STORY 4BR	26.1%	76
D4	ADA 4BR	0.7%	2
D-F31	ADA 4BR	2.1%	6
D-F32	2ND FLOOR	2.1%	6
<b>TOTAL</b>			<b>291</b>



**VICINITY MAP**

I-10

4TH ST

E WASHINGTON

LA CANADA

VAN BUREN

DYSART RD.

LA CANADA

SITE

E. WASHINGTON

**TODD + ASSOCIATES**  
602-952-8280 / TODDASSOC.COM  
25-2018-00

**DOMINIUM**

**Rosilian Villas**  
Avondale, Arizona  
MAJOR PAD AMENDMENT SUBMITTAL #3  
December 11, 2025



**ILLUSTRATIVE SITE PLAN**

**A1.1**

Preliminary Not For Construction

**PL-25-0250 - Neighborhood Meeting Summary**

**In-person Meeting held on January 20, 2026, at 6:00pm at  
Mountainview Community Center, Conference Room  
1007 South 3<sup>rd</sup> Street  
Major PAD Amendment Request  
South of the SWC Dysart Road and Van Buren Street**

**Development Team Attendees:**

Stephen Anderson, Gammage & Burnham  
Michelle Santoro, Gammage & Burnham  
Owen Metz, Dominionium  
Jacob Berger, Dominionium  
Austin Van DerHeyden, Dominionium  
Yannie Wang, Dominionium  
Ramzi Georges, ATWELL  
Russell Kinder, Todd & Associates

**City of Avondale Attendees:**

Cole Hunger, City of Avondale Senior Planner  
Martin Moreno, City of Avondale Planner

**Public Attendees:**

Curtis Nielson, Councilman / Vice Mayor  
Patti Nielson

**Summary:**

Stephen Anderson gave a presentation regarding the details of the proposed development and the process for a Major PAD Amendment. See presentation attached at ***Exhibit A***.

Mr. Anderson began by identifying the property and existing plans and PAD approval. He then provided conceptual site plan and elevation renderings of the proposed project as well as a detailed description of the project amenities. He additionally provided a comparison chart between the existing approval and the proposed PAD.

Mr. Anderson completed the presentation by outlining the City process and then opening to questions.

**Public Participation:**

Mr. and Mrs. Nielsen asked several questions regarding the nuances of LIHTC, salary increases for tenants, the finishes within the units, and how ADA units are designed and function. Each question was answered by the appropriate member of the development team.

The meeting ended at approximately 7:00pm.



# CERTIFICATE OF ADEQUATE SCHOOL FACILITIES

An application for Dominium has been submitted to the City of Avondale, Development Services Department, for review.

Project: Avondale - New Construction (1020 N 4th St) Project Manager: Owen Metz  
 Request: Multi-Family Housing Acreage/Parcel Size: 25.37  
 Current Density Allowed: 302 DU Density Proposed: 291 DU  
 Total number of residential units proposed: 291

As an authorized representative of the District, please complete the questionnaire below.

**Does the District have adequate capacity to accommodate the estimated enrollment from the proposed development?**

Yes  No

*If answered no, please summarize the needs of the district as they relate to serving the students generated by the proposed development.*

\_\_\_\_\_  
\_\_\_\_\_

**Is a school site within the proposed development needed?** Yes  No   
*If answered yes, how many acres is needed for the school site?* \_\_\_\_\_

**Is the district currently working with the developer to provide or help meet the needs identified above through a developer assistance or impact agreement?** Yes  No

*If answered yes, please explain below:*

\_\_\_\_\_  
\_\_\_\_\_

**\*\*If additional writing space is needed, please attach pages to this form\*\***

Date Reviewed: 8/26/25  
 School District: Avondale Elementary  
 District Superintendent: Dr. Eric Dueppen  
 Phone #: 623-824-5297  
 E-mail: skavana@choosaeasd.org

Signature:  (Shannon Kavanash)

*It is the developer's responsibility to ensure that this form is completed by an authorized representative of the District noted above and returned to the Development Services Department prior to the scheduling of any City Council meetings.*

An application for Dominium has been submitted to the City of Avondale, Development Services Department, for review.

Project: Avondale - New Construction (1020 N 4th St) Project Manager: Owen Metz  
 Request: Multi-Family Housing Acreage/Parcel Size: 25.37  
 Current Density Allowed: 12 DU/AC Density Proposed: +/- 11.25 DU/AC (Gross) +/- 11.69 DU/AC (Net)  
 Total number of residential units proposed: 294

As an authorized representative of the District, please complete the questionnaire below.

Does the District have adequate capacity to accommodate the estimated enrollment from the proposed development?

Yes  No

If answered no, please summarize the needs of the district as they relate to serving the students generated by the proposed development.

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Is a school site within the proposed development needed? Yes  No   
 If answered yes, how many acres is needed for the school site? \_\_\_\_\_

Is the district currently working with the developer to provide or help meet the needs identified above through a developer assistance or impact agreement? Yes  No  \*

If answered yes, please explain below:

\* THE DISTRICT DOES REQUEST THAT A DEVELOPMENT AGREEMENT FOR ROOFTOP DECKS BE PUT IN PLACE FOR ALL UNITS THAT ARE MORE THAN 1 BED ROOM.

\*\*If additional writing space is needed, please attach pages to this form\*\*

Date Reviewed: 9/5/25  
 School District: AGUA FRIA HIGH SCHOOL DISTRICT  
 District Superintendent: TOM HUFFMAN (DEPUTY)  
 Phone #: 623 932 7000  
 E-mail: THUFFMAN@AGUAFRIA.ORG

Signature: \_\_\_\_\_

It is the developer's responsibility to ensure that this form is completed by an authorized representative of the District noted above and returned to the Development Services Department prior to the scheduling of any City Council meetings.

### Development Services Department

11465 W. Civic Center Drive, Avondale, AZ 85323 • Phone (623) 333-4000 • Fax (623) 333-0400 • TDD (623) 333-0010  
[www.AvondaleAZ.gov/DevelopmentServices](http://www.AvondaleAZ.gov/DevelopmentServices)

**ORDINANCE NO. 2011-0426**

AN ORDINANCE OF THE COUNCIL OF THE CITY OF AVONDALE, ARIZONA, AMENDING THE OFFICIAL ZONING ATLAS OF THE CITY OF AVONDALE FOR APPROXIMATELY ±24.89 GROSS ACRES GENERALLY LOCATED SOUTH OF THE SOUTHWEST CORNER OF DYSART ROAD AND VAN BUREN STREET, AS SHOWN IN APPLICATION PL-25-0250, AND AMENDING AND RENAMING THE AVONDALE TOWNHOMES ON DYSART PAD TO THE ROSILIAN VILLAS PLANNED AREA DEVELOPMENT (PAD).

**WHEREAS**, the Council of the City of Avondale (the “City Council”) desires to amend the City of Avondale Zoning Atlas (the “Zoning Atlas”), pursuant to ARIZ. REV. STAT. § 9-462.04, to amend and rename the Avondale Townhomes on Dysart Planned Area Development (PAD) to the Rosilian Villas Planned Area Development (PAD) for approximately ±24.89 gross acres generally located south of the southwest corner of Dysart Road and Van Buren Street, as shown in application PL-25-0250 (the “Zoning Atlas Amendment”); and

**WHEREAS**, all due and proper notices of the public hearings on the Zoning Atlas Amendment held by the City of Avondale Planning Commission (the “Commission”) and by the City Council were given in the time, form, and substance provided by ARIZ. REV. STAT. § 9-462.04; and

**WHEREAS**, on March 18, 2026, the Commission held a public hearing on the Zoning Atlas Amendment, after which hearing, the Commission recommended approval by a vote of 5-0; and

**WHEREAS**, the City Council held an additional public hearing regarding the Zoning Atlas Amendment on April 20, 2026; and

**WHEREAS**, in accordance with Article II, Sections 1 and 2 of the Arizona Constitution, the City Council has considered the individual property rights and personal liberties of the residents of the City before adopting this Ordinance; and

**WHEREAS**, the City Council has considered the probable impact of the Zoning Atlas Amendment on the cost to construct housing for sale or rent and finds that the proposed Zoning Atlas Amendment will have no probable impact on the cost to construct housing for sale or rent.

**NOW, THEREFORE, BE IT ORDAINED** BY THE COUNCIL OF THE CITY OF AVONDALE as follows:

SECTION 1. The recitals above are hereby incorporated as if fully set forth herein.

SECTION 2. The Zoning Atlas Amendment is hereby approved, for ±24.89 gross acres generally located south of the southwest corner of Dysart Road and Van Buren Street, as more particularly described and depicted on Exhibit A attached hereto and incorporated herein by reference, subject to the City of Avondale adopted codes, requirements, standards and regulations, and the following stipulations:

1. Except as modified by these conditions, development shall generally conform to the following:

- a. Amended Rosilian Villas PAD narrative, date stamped on March 18, 2026
- b. Site Plan, date stamped on March 18, 2026

2. Administrative approval of the Site Plan and Design Review shall be required prior to the issuance of any building permits, in accordance with the applicable City of Avondale Multi-Family Residential Design Manual.

3. All development shall be completed in accordance with the City of Avondale General Engineering Requirements (GER) Manual and the City of Avondale Supplement to MAG Uniform Specifications and Details unless a standard deviation has been approved.

4. Commencement of horizontal construction for the project shall begin within four (4) years from the date of City Council approval, per Avondale Municipal Code Section 28-113(d) Expiration, and subject to permitted extension.

5. Prior to the issuance of any construction permits for Rosilian Villas, a re-plat shall be approved and recorded to combine the individually platted lots.

6. Should the Arizona Department of Water Resources (ADWR) establish another program in the future to provide for the extinguishment of Irrigation Grandfather Rights (IFGR) and conveyance of credits to municipal water providers, Avondale reserves the right to require the extinguishment of such IFGR.

7. Prior to the issuance of the first Certificate of Occupancy, the developer shall contribute \$250,000 for a future traffic signal at the intersection of 4th Street and Van Buren Street, as per the results of the traffic impact study, or as required by the City Engineer. This contribution shall be finalized in a written agreement between the developer/owner and the City of Avondale prior to the issuance of any building or civil permits.

SECTION 3. If any provision of this Ordinance is for any reason held by any court of competent jurisdiction to be unenforceable, such provision or portion hereof shall be deemed separate, distinct and independent of all other provisions and such holding shall not affect the validity of the remaining portions of this Ordinance.

SECTION 4. The Mayor, the City Manager, the City Clerk and the City Attorney are hereby authorized and directed to execute all documents and take all steps necessary to carry out the purpose and intent of this Ordinance.

**PASSED AND ADOPTED** by the Council of the City of Avondale, Arizona, April 20, 2026.

---

Mike Pineda, Mayor

ATTEST:

---

Marcella Sarmiento, City Clerk

APPROVED:

---

Nicholle Harris, City Attorney

EXHIBIT A  
TO  
ORDINANCE NO. 2011-0426

[Legal Description and Map]

See following pages.



ONE COMPANY.  
INFINITE SOLUTIONS.

**Legal Description  
For  
Dominium - Avondale  
Project Boundary**

Located in the Northeast Quarter of Section 10, Township 1 North, Range 1 West, Gila and Salt River Meridian, Maricopa County, Arizona. Described as follows:

Being Lots 1 through 296, inclusive and Tract A of the Final Plat of Avondale Townhouse on Dysart recorded in Book 1787, Page 45, Maricopa County records, described as follows:

Commencing at the Northeast corner said Section 10, from which the East Quarter corner of said Section bears South 00°00'00" East, a distance of 2646.79 feet;

Thence South 00°00'00" East, along the East line of said Northeast Quarter, a distance of 1234.67 feet;

Thence departing said East line, North 89°59'50" West, a distance of 50.00 feet to the Point of Beginning;

Thence South 00°00'00" East, a distance of 420.32 feet;

Thence North 89°53'12" West, a distance of 1,232.84 feet;

Thence North 00°09'12" East, a distance of 331.01 feet;

Thence North 00°07'05" East, a distance of 690.83 feet;

Thence South 89°57'46" East, a distance of 628.04 feet;

Thence South 00°07'03" East, a distance of 30.20 feet;

Thence South 89°50'30" East, a distance of 19.55 feet;

Thence South 00°03'08" East, a distance of 128.47 feet;

Thence South 89°59'11" East, a distance of 388.13 feet;

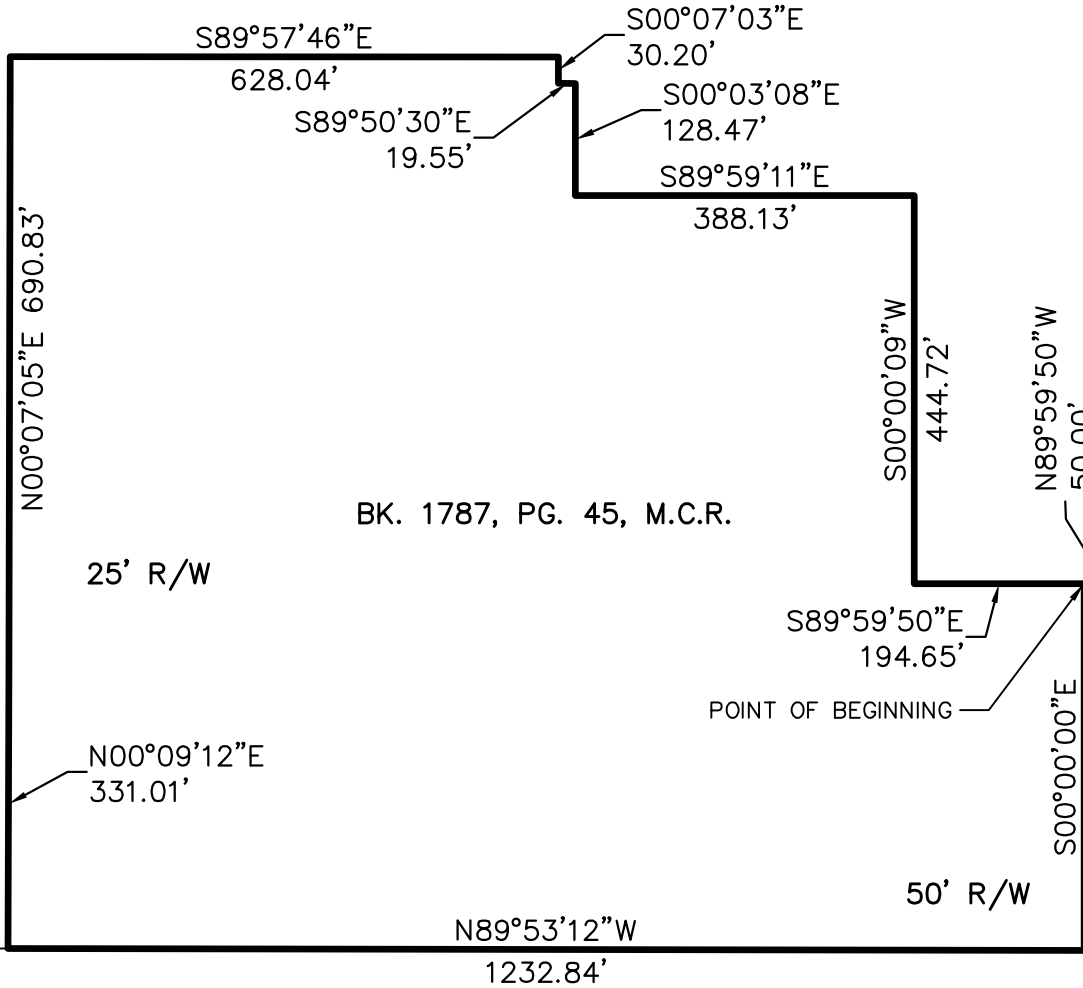
Thence South 00°00'09" West, a distance of 444.72 feet;

Thence South 89°59'50" East, a distance of 194.65 feet to the Point of Beginning.

Containing 1,079,939.23 square feet or 24.79 acres, more or less.



NE COR SEC 10, T.1N., R.1W.  
POINT OF COMMENCEMENT



4TH ST.

N00°07'05\"E 690.83'

S89°57'46\"E

628.04'

S89°50'30\"E

19.55'

S00°07'03\"E

30.20'

S00°03'08\"E

128.47'

S89°59'11\"E

388.13'

S00°00'09\"W

444.72'

N89°59'50\"W

50.00'

1234.67'

BK. 1787, PG. 45, M.C.R.

25' R/W

S89°59'50\"E

194.65'

POINT OF BEGINNING

N00°09'12\"E

331.01'

S00°00'00\"E

420.32'

S00°00'00\"E 2646.79'

DYSART RD.

50' R/W

N89°53'12\"W

1232.84'

E 1/4 COR SEC 10, T.1N., R.1W.



Scale: N.T.S.

JOB NO. 20254258 PRODUCT TYPE: EX DATE: 9-11-2025

SHEET 1 OF 1



EXHIBIT "A"  
PROJECT BOUNDARY  
DOMINIUM - AVONDALE  
AVONDALE, ARIZONA

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**ITEM NUMBER:** 6.d.

---

**SUBJECT:** Presentation and Discussion of the City Manager's Recommended Budget

**MEETING DATE:** 4/20/2026

---

**TO:** Mayor and Council

**FROM:** Renee Weatherless, Finance and Budget Director

**THROUGH:** Ron Corbin, City Manager, (623) 333-1011

**REVIEWED:** Ron Corbin, City Manager, (623) 333-1011

---

**STRATEGIC PLAN:**

The budget supports all areas of the Strategic Plan, as it aligns resources with the strategic priorities of City Council.

---

**PURPOSE:**

City Council will receive a general overview of the City Manager's proposed budget for fiscal year 2027 (FY2027). This item is for discussion only.

**BACKGROUND:**

The Avondale City Charter requires the City Manager to submit an estimate of the budget for the upcoming fiscal year before June 1st. This estimate shall be in compliance with state law and shall contain an estimate of the revenues needed to meet the projected expenditures for the next fiscal year. The City Manager's Recommended Budget and Estimates are delivered in this presentation and a companion document which is published on the City's website.

In preparation for this stage in the budget development, the Council received presentations and information throughout the process, including discussions in November and March. Each of these presentations is designed to solicit feedback and give policy direction to staff on the development of the FY2027 budget beginning on July 1, 2026.

**DISCUSSION:**

The information presented will lead to discussions in order to finalize the FY2027 budget. These discussions will assist the Mayor and Council in making informed decisions regarding the City's operations and capital improvement program (CIP). Staff will then prepare the Tentative FY2027 Budget for Council consideration on May 4. The Tentative Budget, which is the first step in the formal adoption process, establishes the expenditure ceiling for the next fiscal year.

**BUDGET IMPACT:**

The information presented is intended to encourage discussion which will lead the development of the FY2027 budget.

**RECOMMENDATION:**

The information presented is intended to encourage discussion which will lead the development of the FY2027 budget.

*Contact person for document distribution: n/a*

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**ITEM NUMBER:** 6.e.

---

**SUBJECT:** Fiscal Year 2027 Contributions Assistance Program

**MEETING DATE:** 4/20/2026

---

**TO:** Mayor and Council

**FROM:** Chris Lopez, Neighborhood and Family Services Director

**THROUGH:** Dale Nannenga, Assistant City Manager, (623) 333-1017

**REVIEWED:** Ron Corbin, City Manager, (623) 333-1011

---

**STRATEGIC PLAN:**

**Community Well-Being**

- Assist residents in finding and accessing social and human services programs provided by nonprofit organizations
- 

**PURPOSE:**

City Council will receive an update regarding the Contributions Assistance Program, including an overview of eligibility requirements, funding levels, and evaluation criteria for Fiscal Year 2026-2027. This item is for discussion and feedback only; no Council action will be taken.

**BACKGROUND:**

The Contributions Assistance Program was established to provide a supplemental funding source for organizations providing services to residents of the City of Avondale. This program has evolved over time to reflect Council priorities and the financial constraints of the budget. Since 2003, City Council has limited funding to organizations providing health and human services. Organizations must be a designated 501(c)(3) non-profit organization. Level funding of \$200,000 for FY2027 will be included in the proposed budget, and the maximum award amount of up to \$20,000 per proposal, as approved by the City Council in April 2022, will be maintained. The Contributions Assistance Program Subcommittee includes Vice Mayor Nielson and Council Members Conde and Garcia.

**DISCUSSION:**

A staff committee will conduct an initial review of all applications and will forward eligible applications to the Council Subcommittee for their evaluation, selection and determination of funding levels. The following criteria will be used to evaluate and prioritize applications.

1. Provision of direct services that improve the health and welfare of Avondale residents.
2. Priority will be given to services and initiatives that support and address City Council's goals.
3. Services provided at the Arizona Complete Health Avondale Resource Center will be given priority.
4. Priority will be given to special projects. However, requests for operating support toward direct and

measurable services will be considered.

5. Organizations that receive funding will participate in quarterly reviews and demonstrate satisfactory progress towards stated goals and objectives.
6. Current, timely, and accurate reports from current recipients.
7. Ability to generate revenue from other sources.
8. All awards should be at or above the minimum amount requested by the organization. The minimum amount is established to provide the organization with adequate funding to effectively complete the project as proposed.

**BUDGET IMPACT:**

Funding for the Contributions Assistance Program is included in the Neighborhood and Family Services department budget. For FY2027, the City is proposing to fund this program with a total of \$200,000 to support this program.

**RECOMMENDATION:**

This item is for discussion and feedback only; no Council action will be taken.

*Contact person for document distribution: Mayra Garibo-Davila*

---

**ITEM NUMBER:** 6.f.

---

**SUBJECT:** Traffic Safety Committee Presentation

**MEETING DATE:** 4/20/2026

---

**TO:** Mayor and Council

**FROM:** Memo Espinoza, Chief of Police

**THROUGH:**  
Dale Nannenga, Assistant City Manager, (623) 333-1017

**REVIEWED:** Ron Corbin, City Manager, (623) 333-1011

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**STRATEGIC PLAN:**

This agenda item supports the following Avondale Strategic Outcome Area: Innovative and Effective Government Avondale's elected leaders, employees, and strategic partners collaborate to serve as a model of innovation, efficiency, and responsive government.

The Avondale Police and Traffic Engineering Departments will provide an overview of strategies to improve traffic flow in the City of Avondale while reducing traffic accidents.

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**PURPOSE:**

City Council will receive a presentation from the Police and Engineering Departments on the new Traffic Safety Committee, including an overview of its initiatives for 2026. This is for presentation only.

**BACKGROUND:**

The Traffic Safety Committee was established in January 2026 following the removal of the Speed Safety Cameras. Recognizing the need for a coordinated approach, the Police and Engineering Departments partnered to plan and develop new initiatives to improve safety on Avondale streets. Their efforts focus on enhancing traffic flow in a safe, effective, and efficient manner.

The Committee focuses on a collaborative, data-driven, and cross-departmental forum, led by the Engineering and Police Departments, to evaluate existing traffic conditions, assess traffic impacts from current and planned development, and coordinate proactive mitigation strategies ensuring Avondale's transportation system remains safe, efficient, and responsive to special events and community needs.

**DISCUSSION:**

The Traffic Safety Committee examines key issues, including identifying high-collision locations, pinpointing areas with impeded traffic flow, and identifying future construction projects that impact traffic flow.

The Committee will also present its initial initiative to the City Council aimed at improving road safety in

Avondale: the launch of the “Look Before You Turn” campaign. This effort will include a coordinated social media outreach strategy and the installation of new signage at the highest-risk locations.

**BUDGET IMPACT:**

This item has no budget impact.

**RECOMMENDATION:**

This item is for information and discussion only.

*Contact person for document distribution:*